

Licensing Sub-Committee

Agenda

Monday 4 July 2022
6.30 pm
Online - Virtual Meeting

MEMBERSHIP

| Administration: | Opposition: |
|---|----------------------------|
| Councillor Paul Alexander (Vice-Chair) Councillor Florian Chevoppe-Verdier | Councillor Dominic Stanton |

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Committee Co-ordinator
Governance and Scrutiny
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Public Notice

Members of the press and public are welcome to attend at the YouTube link below:

Speaking at Licensing meetings is restricted to those who have submitted a representation and registered to speak.

THIS MEETING WILL BE HELD REMOTELY It will be streamed via YouTube on:
<https://youtu.be/XzbWHumX1LM>

Licensing Sub-Committee Agenda

4 July 2022

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| 1. | APOLOGIES FOR ABSENCE | |
| 2. | DECLARATIONS OF INTEREST | |
| | <p>If a Councillor has a disclosable pecuniary interest in a particular item, whether or not it is entered in the Authority's register of interests, or any other significant interest which they consider should be declared in the public interest, they should declare the existence and, unless it is a sensitive interest as defined in the Member Code of Conduct, the nature of the interest at the commencement of the consideration of that item or as soon as it becomes apparent.</p> <p>At meetings where members of the public are allowed to be in attendance and speak, any Councillor with a disclosable pecuniary interest or other significant interest may also make representations, give evidence or answer questions about the matter. The Councillor must then withdraw immediately from the meeting before the matter is discussed and any vote taken.</p> <p>Where Members of the public are not allowed to be in attendance and speak, then the Councillor with a disclosable pecuniary interest should withdraw from the meeting whilst the matter is under consideration. Councillors who have declared other significant interests should also withdraw from the meeting if they consider their continued participation in the matter would not be reasonable in the circumstances and may give rise to a perception of a conflict of interest.</p> <p>Councillors are not obliged to withdraw from the meeting where a dispensation to that effect has been obtained from the Standards Committee.</p> | |
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1. THE APPLICATION

On 28 February 2022, Green Lux Operations (UK) Limited (“the applicant”) submitted an application for a new premises licence to be granted in respect of the premises known as Dao by Dorsett West London located at the premises previously known as the Walkabout Inn at 56 Shepherd's Bush Green London W12 8QE.

1.1 Application Requested

The applicant has applied for a new premises licence for performance of dance, exhibition of a film, performance of live music, playing of recorded music, entertainment similar to music or dance all indoors, provision of late night refreshment both indoors and outdoors, as well as the sale of alcohol both on and off the premises as outlined below:

Performance of Dance -Indoors Only

Monday to Sunday 07:00 - 01:00

Exhibition of a Film -Indoors Only

Monday to Sunday 07:00 - 01:00

Performance of Live Music -Indoors Only

Monday to Sunday 07:00 - 01:00

Playing of Recorded Music -Indoors Only

Monday to Sunday 07:00 - 01:00

Entertainment Similar to Music or Dance -Indoors Only

Monday to Sunday 07:00 - 01:00

Provision of Late Night Refreshment -Both Indoors and Outdoors

Monday to Sunday 23:00 - 01:00

Sale of Alcohol On and Off the Premises

Monday to Sunday 07:00 - 01:00

Non Standard Timings and Seasonal Variations (for all the above activities)

From the end of permitted hours on New Year's Eve until 03:00 hours on New Year's Day. Permitted 24 hours a day for residents and their bona fide guests and patrons attending a private function.

Hours open to public:

Monday to Sunday 00:00 – 00:00

A copy of the application form and plans can be seen on pages 9-29 of this report.

1.2 Applicants Operating Schedule

The applicant has proposed a number of steps to promote the four licensing objectives if the application is granted. A copy of these steps can be seen on pages 30-35 of this report.

On 19th March 2022 the licensing section received one representation from the Noise and Nuisance Authority objecting to the licence application. On 27th April 2022 following the inclusion of two agreed conditions, Noise and Nuisance withdrew their objection. A copy of the agreed conditions and relevant correspondence can be seen on pages 39-41 of this report.

2. BACKGROUND

The premises intend to operate as an aparthotel consisting of eight stories and a basement floor. The first to seventh floors consist of serviced apartments / guest rooms and the ground floor consists of entertainment space, café, bar and restaurant facilities. The basement floor consists of back of house and WC facilities. There is a proposed external customer seating area located on Rockwell Place. The premises adjoins the existing Dorsett Shepherds Bush hotel, which benefits from a premises licence with reference number 2019/00891/LAPR. This application seeks licensable activities and hours in line with the terms of this premises licence.

The main access to the premise's unit will be via the Shepherd's Bush Green road. There is a mixture of both commercial and residential premises within the selected 75m buffer zone. A map showing the location of the premises and a list of neighbouring premises can be seen on pages 36-38 of this report.

There are several options for transport away from the area including buses and taxis which run from in and around the Shepherd's Bush Green area. Goldhawk Road tube station is a 5-minute walk away, Shepherd's Bush Market tube station is a 4-minute walk away, Shepherd's Bush tube station and Shepherd's Bush Overground station are an 8-minute walk away.

3. CONSULTATION

A public notice was displayed at the premises for 28 days. The application was advertised in a local circular and all statutory consultees were notified as required by the Regulations. The Council has served written notice of hearing upon the applicant and all those parties that have made representations in respect of the application.

3.1. Relevant Representations

The licensing section received one representation from Cllr Mercy Umeh objecting to the licence application. A copy of this representation can be seen on page 42 of this report.

The licensing section received one representation from the Greenside Residents Action Group objecting to the licence application. A copy of this representation can be seen on pages 43-48 of this report.

In addition to the above representations, the licencing section received comments from the Planning Authority. A copy of these comments can be seen on pages 49-58 of this report.

On the 6th April 2022 and 22nd April 2022, the applicant's licensing solicitor requested for a letter to be forwarded to all objectors to discuss any concerns raised. A copy of this invitation and objector's response can be seen on pages 59-61 of this report.

4. OTHER INFORMATION

4.1 Enforcement History

There have not been any warnings, simple cautions or prosecutions given in respect of the premises during the past three years.

4.2 Temporary Event Notices ("TENs")

No TENs have been submitted in respect of this premises in the past twelve months.

5. POLICY CONSIDERATIONS

5.1 Section 5.1 page 12 of the Statement of Licensing Policy ("SLP") states that where there is a relevant representation, the Licensing Authority will consider each particular case on its merits having regard in particular to the following matters:

- Whether the licensed activities are likely to have an adverse impact especially on local residents and, if there is potential to have an adverse impact, what, if any, appropriate measures will be put in place to prevent it;
- Whether there will be a substantial increase in the cumulative adverse impact from these or similar activities, on an adjacent residential area;
- Whether there is a suitable level of public transport accessibility to and from the premises at the appropriate times;
- Whether the activity will be likely to lead to a harmful and unmanageable increase in car parking demand in surrounding residential streets suffering high levels of parking stress or on roads forming part of the Strategic London Road Network or the London Bus Priority Network leading to a negative impact on the Licensing Objectives relating to the prevention of crime, disorder and nuisance; and
- Whether there have been any representations made by Responsible Authorities, or other relevant agency or representative.

5.2 Section 5.2 page 12 of the SLP states that the Licensing Authority will closely scrutinise extended hours applications to ensure that the Licensing Objectives are met. In determining an application, the licensing committee might decide that the circumstances are such that a restriction on hours is the only appropriate means to achieve the Licensing Objectives. If an 'hours' restriction is imposed, the Licensing Authority will normally require that customers should be allowed a minimum of thirty minutes to consume alcohol. For example, if the closing time on the application is stated as 12 midnight, the latest time that a licence would be granted to serve alcohol would be 11:30pm, as the Licensing Authority will normally allow a minimum of 30 minutes to consume alcohol that has been purchased before the terminal hour.

5.3 Section 5.3 pages 12 and 13 of the SPL states that in determining representations to an application which incorporates an external area to the premises, the licensing committee might decide that the circumstances are such that a restriction on 13 hours in that area is the only appropriate means to achieve the promotion of the Licensing Objectives.

5.4 Section 5.4 page 13 of the SPL states that the Licensing Authority advises applicants that it would be beneficial if a lawful planning use can be demonstrated for the activities proposed in all applications for premises licences.

5.5 Section 6.2 page 13 of the SLP states that in accordance with paragraph 13.30 of the Secretary of State's current Guidance, where the cumulative effect of many licensed premises within an area gives rise to problems of public disorder and nuisance in the surrounding area, the Licensing Authority may consider it inappropriate for any further licensed premises to be established in the area, or extension to licensed hours of existing premises to be approved. In such circumstances, an application for a licence for activities which would undermine the promotion of any of the four Licensing Objectives would be refused.

5.6 Section 8.1 page 15 of the SLP states that the Licensing Authority will require applicants to detail in their operating schedule the steps proposed to ensure the deterrence and prevention of crime and disorder on, and in the vicinity of, the premises, having regard to their location, character, condition, the nature and extent of the proposed use and the persons likely to use the premises.

5.7 Section 8.2 pages 15 and 16 of the SLP states that the Licensing Authority will require the licence holder to indicate what steps will be put in place to control the excessive consumption of alcohol and drunkenness on relevant premises in order to reduce the risk of anti-social behaviour occurring elsewhere after customers have left the premises.

5.8 Section 9.1 page 17 of the SLP states that the Licensing Authority will require the applicant to detail in their operating plan the steps proposed to ensure the physical safety of people using the relevant premises or place.

5.9 Section 10.3 page 19 of the SLP states that the Licensing Authority will particularly consider the following matters where they are material to the individual application:

- The proximity of residential accommodation;
- The type of use proposed, including the likely numbers of customers, proposed hours of operation and the frequency of activity;
- The steps taken or proposed to be taken by the applicant to prevent noise and vibration escaping from the premises, including music, noise from ventilation equipment, and human voices. Such measures may include the installation of soundproofing, air conditioning, acoustic lobbies and sound limitation devices;
- The steps taken or proposed to be taken by the applicant to prevent disturbance by customers arriving at or leaving the premises. This will usually be of greater importance late at night and/or in the early hours of the morning. However, nuisance can arise at any time of the day or night so the Licensing Authority will consider representations from Responsible Authorities and/or Interested Parties relating to potential nuisance from any activity at all times

dependent on the merits of the application/steps taken or proposed to prevent nuisance.

- The steps taken or proposed to be taken by the applicant to prevent queuing (either by pedestrian or vehicular traffic). If some queuing is inevitable then queues should be diverted away from neighbouring premises or be otherwise managed to prevent disturbance or obstruction;
- The steps taken or proposed to be taken by the applicant to ensure staff leave the premises quietly;
- The arrangements made or proposed for parking by patrons, and the effect of parking by patrons on local residents;
- The provision for public transport in the locality (including taxis and private hire vehicles) for patrons;
- The level of likely disturbance from associated vehicular and pedestrian movement to and from the premises;
- The delivery and collection areas and delivery/collection times;
- The siting of external lighting, including security lighting that is installed inappropriately;
- The arrangements for refuse disposal, storage and the prevention/tidying of litter (including fly posters and illegal placards);
- The generation of odour, e.g. from the preparation of food;
- Any other relevant activity likely to give rise to nuisance;

5.10 Section 11.1 page 20 of the SLP states that the Licensing Authority will require operating plans to specify the measures and management controls in place to protect children from harm. Where appropriate a written childcare policy should be available and be incorporated in the induction of staff.

6. DETERMINATION

6.1 In determining this application, the Committee must have regard to the representations and take such of the following steps as it considers necessary for the promotion of the licensing objectives. The steps are:

- (a) Grant the application in full
- (b) Grant the application in part – modifying the proposed hours, activities or conditions.
- (c) Reject the application.

It is the Council's duty under the Licensing Act 2003 ("The Act") to determine applications with a view to promoting the four licensing objectives; Prevention of Crime and Disorder, Public Safety, Prevention of Public Nuisance and the Protection of Children from Harm.

In reaching a decision the Council shall consider the details of any relevant representations received; the applicant's Operating Schedule; the Council's adopted Statement of Licensing Policy and the guidance issued by the Secretary of State under section 182 of the Act.

If the Committee is minded to grant the application, conditions may be attached to the licence to alleviate the concerns raised through any representation(s).

Application for a premises licence to be granted under the Licensing Act 2003

Case number 2022/00252/LAPR
Payment transaction reference 256-37433
Amount paid £315
Date submitted 28/02/2022
Are you the applicant or their Agent agent?

PREMISES DETAILS

Premises address

Walkabout Inn 56 Shepherd's Bush Green, London W12 8QE

If the premises could not be found please enter the address here, or if the premises has no address give a detailed description (including the Ordnance Survey references)

56 Shepherd's Bush Green
London
W12 8QE

Trading name (if any) Dao by Dorsett West London

Telephone number at the premises (if any)

Are the premises in the course of construction?

Yes

Non-domestic rateable value 33001
if the premises

Will the premises be exclusively or primarily used for the supply of alcohol for consumption on the premises?

No

APPLICANT DETAILS

I am applying as a person other than an individual
Please confirm if you are applying as a limited company/ limited liability partnership

Applicant name Green Lux Operations (UK) Limited
Address Ground Floor 12 Stanhope Gate
London
W1K 1AW

Registered company number 13289911

Telephone number

Email address

I confirm that: I am carrying on or proposing to carry on a business which involves the use of the premises for licensable activities

Alternative details for correspondence

Contact name (if different from premises user) Mr David Inzani

Business name Poppleston Allen
Correspondence address Poppleston Allen
The Stanley Building 7 Pancras Square
London
N1C 4AG

Daytime/ business telephone 07943097660
number

Evening/ home telephone
number

Mobile phone number

Email address

OPERATING SCHEDULE

When do you want the premises licence to start?

28/03/2022

If you want the licence to be valid for only a limited period, when do you want it to end?

If 5,000 or more people are expected to attend the premises at any one time, please state the number expected to attend

Please give a general description of the premises.

The premises is an aparthotel consisting of eight stories and a basement floor. The first to seventh floors consist of serviced apartments / guest rooms and the ground floor consists of entertainment space, café, bar and restaurant facilities. The basement floor consists of back of house and WC facilities. There is a proposed external customer seating area located on Rockwell Place. Please see the layout drawings submitted with this application for further details.

What licensable activities do you intend to carry on from the premises?

films, live music, recorded music, performances of dance, anything similar, late night refreshment, supply of alcohol

HOURS OPEN TO THE PUBLIC

Standard days

Mondays

Start 00:00

Finish 00:00

Tuesdays

Start 00:00

Finish 00:00

Wednesdays

Start 00:00

Finish 00:00

Thursdays

Start 00:00

Finish 00:00

Fridays

Start 00:00

Finish 00:00

Saturdays

Start 00:00

Finish 00:00

Sundays

Start 00:00

Finish 00:00

Please state any seasonal variations

Non standard timings. Where you intend to use the premises at different times to those listed above, please list

[Unrestricted Opening Hours]

FILMS

Please give further details here

Will the performance of films take place indoors, outdoors or both?

Indoors

Standard days

Mondays

Start 07:00

Finish 01:00

Tuesdays

Start 07:00

Finish 01:00

Wednesdays

Start 07:00

Finish 01:00

Thursdays

Start 07:00

Finish 01:00

Fridays

Start 07:00

Finish 01:00

Saturdays

Start 07:00

Finish 01:00

Sundays

Start 07:00

Finish 01:00

Please state any seasonal variations

Non standard timings. Where you intend to use the premises for films at different times to those listed above, please list.

From the end of permitted hours on New Year's Eve until 03:00 hours on New Year's Day.

Permitted 24 hours a day for residents and their bona fide guests and patrons attending a private function.

LIVE MUSIC

Please give further details here

Will the performance of live music take place indoors, outdoors or both?

Indoors

Standard days

Mondays

Start 07:00

Finish 01:00

Tuesdays

Start 07:00

Finish 01:00

Wednesdays

Start 07:00

Finish 01:00

Thursdays

Start 07:00

Finish 01:00

Fridays

Start 07:00

Finish 01:00

Saturdays

Start 07:00

Finish 01:00

Sundays

Start 07:00

Finish 01:00

Please state any seasonal variations

Non standard timings. Where you intend to use the premises for live music at different times to those listed above, please list.

From the end of permitted hours on New Year's Eve until 03:00 hours on New Year's Day.

Permitted 24 hours a day for residents and their bona fide guests and patrons attending a private function.

RECORDED MUSIC

Please give further details here

Will the performance of recorded music take place indoors, outdoors or both?

Indoors

Standard days

Mondays

Start 07:00

Finish 01:00

Tuesdays

Start 07:00

Finish 01:00

Wednesdays

Start 07:00

Finish 01:00

Thursdays

Start 07:00

Finish 01:00

Fridays

Start 07:00

Finish 01:00

Saturdays

Start 07:00

Finish 01:00

Sundays

Start 07:00

Finish 01:00

Please state any seasonal variations

Non standard timings. Where you intend to use the premises for recorded music at different times to those listed above, please list.

From the end of permitted hours on New Year's Eve until 03:00 hours on New Year's Day.

Permitted 24 hours a day for residents and their bona fide guests and patrons attending a private function.

PERFORMANCES OF DANCE

Please give further details here

Will the performance of dance take place indoors, outdoors or both?

Indoors

Standard days

Mondays

Start 07:00

Finish 01:00

Tuesdays

Start 07:00

Finish 01:00

Wednesdays

Start 07:00

Finish 01:00

Thursdays

Start 07:00

Finish 01:00

Fridays

Start 07:00

Finish 01:00

Saturdays

Start 07:00

Finish 01:00

Sundays

Start 07:00

Finish 01:00

Please state any seasonal variations

Non standard timings. Where you intend to use the premises for performances of dance at different times to those listed above, please list.

From the end of permitted hours on New Year's Eve until 03:00 hours on New Year's Day.

Permitted 24 hours a day for residents and their bona fide guests and patrons attending a private function.

ANYTHING SIMILAR TO LIVE MUSIC, RECORDED MUSIC OR DANCE

Please give further details here

Will this entertainment take place indoors, outdoors or both?

Indoors

Standard days

Mondays

Start 07:00

Finish 01:00

Tuesdays

Start 07:00

Finish 01:00

Wednesdays

Start 07:00

Finish 01:00

Thursdays

Start 07:00

Finish 01:00

Fridays

Start 07:00

Finish 01:00

Saturdays

Start 07:00
Finish 01:00

Sundays

Start 07:00
Finish 01:00

Please state any seasonal variations

Non standard timings. Where you intend to use the premises for this entertainment at different times to those listed above, please list.

From the end of permitted hours on New Year's Eve until 03:00 hours on New Year's Day.

Permitted 24 hours a day for residents and their bona fide guests and patrons attending a private function.

**LATE NIGHT
REFRESHMENT**

Please give further details
here

Will the provision of late night refreshment take place indoors, outdoors or both?

Both

Standard days

Mondays

Start 23:00
Finish 01:00

Tuesdays

Start 23:00
Finish 01:00

Wednesdays

Start 23:00
Finish 01:00

Thursdays

Start 23:00
Finish 01:00

Fridays

Start 23:00
Finish 01:00

Saturdays

Start 23:00
Finish 01:00

Sundays

Start 23:00
Finish 01:00

Please state any seasonal variations

Non standard timings. Where you intend to use the premises for late night refreshment at different times to those listed above, please list.

From the end of permitted hours on New Year's Eve until 03:00 hours on New Year's Day.

Permitted 24 hours a day for residents and their bona fide guests and patrons attending a private function.

SUPPLY OF ALCOHOL

Please give further details here

Will the supply of alcohol be for consumption on the premises, off the premises or both?

Both

Standard days

Mondays

| | |
|--------|-------|
| Start | 07:00 |
| Finish | 01:00 |

Tuesdays

| | |
|--------|-------|
| Start | 07:00 |
| Finish | 01:00 |

Wednesdays

| | |
|--------|-------|
| Start | 07:00 |
| Finish | 01:00 |

Thursdays

| | |
|--------|-------|
| Start | 07:00 |
| Finish | 01:00 |

Fridays

| | |
|--------|-------|
| Start | 07:00 |
| Finish | 01:00 |

Saturdays

| | |
|--------|-------|
| Start | 07:00 |
| Finish | 01:00 |

Sundays

| | |
|--------|-------|
| Start | 07:00 |
| Finish | 01:00 |

Please state any seasonal variations

Non standard timings. Where you intend to use the premises for the supply of alcohol at different times to those listed above, please list.

From the end of permitted hours on New Year's Eve until 03:00 hours on New Year's Day.

Permitted 24 hours a day for residents and their bona fide guests and patrons attending a private function.

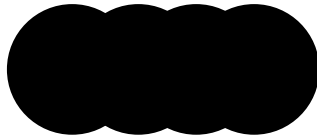
Details of the individual whom you wish to specify on the licence as the designated premises supervisor

Full name

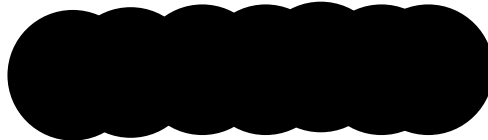
Date of birth



Home address of prospective designated premises supervisor



Personal licence number (if known)



Issuing authority (if known)

Please highlight any adult entertainment or services, activities, other entertainment or matters ancillary to the use of the premises that may give rise to concern in respect of children

None

Describe the steps you intend to take to promote the licensing objectives

a) General- all four licensing objectives (b,c,d and e)

[The information provided in this box is for information only and not intended to be converted into conditions on the licence.]

The applicant is part of the Dorsett hotel group, operating high-end hotels internationally including existing hotels in Shepherds Bush and Aldgate, London. This application seeks a new premises licence for an aparthotel with ancillary entertainment, café, bar and restaurant facilities on the ground floor. The premises adjoins the existing Dorsett Shepherds Bush hotel, which benefits from premises licence number 2019/00891/LAPR. This application seeks licensable activities and hours in line with the terms of premises licence 2019/00891/LAPR granted to the Dorsett Shepherds Bush hotel:

- Sale of alcohol from 07:00 hours to 01:00 hours the following day, seven days a week (on and off the premises).
- Provision of regulated entertainment in the form of films, live music, recorded music, performances of dance and anything similar to live music, recorded music or dance from 07:00 hours to 01:00 hours the following day, seven days a week (indoors only).
- Late night refreshment from 23:00 hours to 01:00 hours the following day, seven days a week (indoors and outdoors).
- Licensable activities 24 hours a day, seven days a week for residents, their bona fide guests and patrons attending a private function.
- Opening hours 24 hours a day, seven days a week.
- Additional non-standard timings on NYE.

The Applicant is an experienced operator in this area, having been granted the premises licence for the Dorsett Shepherds Bush hotel in 2014. The Applicant has carefully considered the impact of the proposed new premises licence and has pre-consulted with Hammersmith & Fulham Council's Licensing Department and Police Licensing Team. Following consultation with the responsible authorities, the Applicant believes that the proposed schedule of licence conditions attached to this application will ensure the promotion of the licensing objectives.

b) The prevention of crime and disorder

Please see box a) above and the schedule of proposed premises licence conditions provided with this application.

c) Public safety

Please see box a) above and the schedule of proposed premises licence conditions provided with this application.

d) The prevention of public nuisance

Please see box a) above and the schedule of proposed premises licence conditions provided with this application.

e) The protection of children from harm

Please see box a) above and the schedule of proposed premises licence conditions provided with this application.

DECLARATIONS

I have enclosed a plan of the premises

Yes

I have enclosed the consent form completed by the individual I wish to be designated premises supervisor

Yes

I understand I must now advertise my application

Yes

It is an offence, under section 158 of the Licensing Act 2003, to make a false statement in or in connection with this application. Those who make a false statement may be liable on summary conviction to a fine of any amount.

It is an offence under section 24b of the Immigration Act 1971 for a person to work when they know, or have reasonable cause to believe, that they are disqualified from doing so by reason of their immigration status. Those who employ an adult without leave or who is subject to conditions as to employment will be liable to a civil penalty under section 15 of the Immigration, Asylum And Nationality Act 2006 and pursuant to section 21 of the same act, will be committing an offence where they do so in the knowledge, or with reasonable cause to believe, that the employee is disqualified.

The DPS named in this application form is entitled to work in the UK (and is not subject to conditions preventing him or her from doing work relating to a licensable activity) and I have seen a copy of his or her proof of entitlement to work, or have conducted an online right to work check using the Home Office online right to work checking service which confirmed their right to work.

I have the consent of any individuals or third parties listed in this form to provide their personal details and I am authorised to submit this application on behalf of all applicants.

I have read the privacy policy and agree for my details to be used by the council to contact me about this application and any changes to this service that may affect me.

I agree to the above

Yes I agree to the above declaration

Full name

Poppleston Allen

Capacity

Solicitors on behalf of the applicant

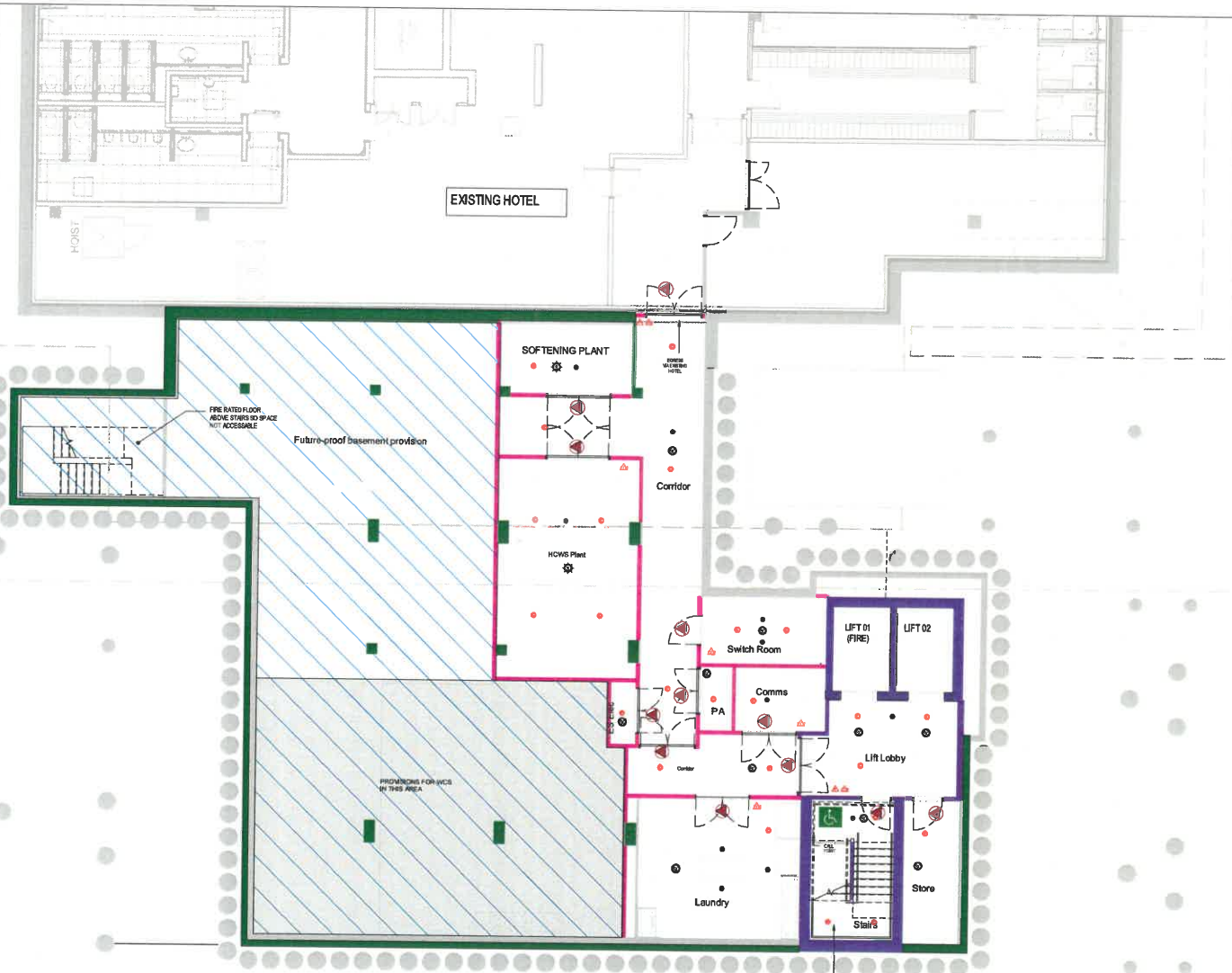
Date

28/02/2022

1 | Basement
1:75

The location and type of any fire safety and any other safety equipment is shown as at present. This may be varied from time to time with the agreement of the Fire Officer or after a fire risk assessment.

Anything shown on this plan which is not required by the Plan Regulations is for illustrative purposes only, and does not form part of the Premises Licence

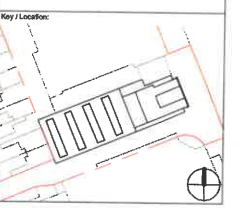


Disclaimer:
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Notes:
Areas have been calculated in accordance with the BS8645/BSVA code of Measuring Practice, (8th edition, 2007) using the stated options MEA, GSA and GEA (ground floor GEA excludes external curbs and refuse stores)
Any decisions to be made on the basis of these predictions, comparisons and the like, should make due allowance for inaccuracies arising from the following: design development, construction arising from the following: design development, accurate site survey, site levels and site dimensions, construction method and building tolerances, Local Authority and Statutory comments

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| Information Exchange 1: | Information Exchange 2: |
| Information Exchange 3: | Information Exchange 4: |

| Rev | Notes | Date | Drawn | Issued |
|-----|-------------|------------|-------|--------|
| A | INFORMATION | 03.02.2022 | MP | BT |

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Client:
Dorsett Hospitality International

Purpose of Issue:
LICENCING

Project:
56 Shepherds Bush Green

Drawing Title:
BASEMENT PLAN LICENCING

Drawn By: MP Issued By: BT Date of First Issue: 03.02.2022

Project No: 15-040 Scale @: As Indicated
Drawing No: 1001-A-FLA-DRG-01-B1-0099 Revision: A

| | | | | | | | | | |
|--|---|--|---|--|-------------------------------|--|------------------------------------|--|---------------------------------|
| | Minimum 20 mins fire compartmentation integrity and protection. Minimum 45 mins against all walls 210 to the maximum compartmentation. | | Fire Emergency Exit | | Workshop Ridge | | Trap (Not Spillable Fluid) | | Emergency Light Fix |
| | Minimum 60 mins fire compartmentation integrity and protection. Minimum 30 mins against all walls 210 to the maximum compartmentation. | | FD1300 30 min fire resisting door with smoke seal and fire containment strip | | LED Emergency Exit Sign | | Fixed Glass other retaining window | | Cable barrier support |
| | Minimum 90 mins fire compartmentation integrity and protection. Minimum 30 mins against all walls 210 to the maximum compartmentation. | | FD200 60 min fire resisting door with smoke seal and fire containment strip | | Beacon Display | | Fire Panel | | Fire Extinguisher (Dry Powder) |
| | Minimum 120 mins fire compartmentation integrity and protection. Minimum 30 mins against all walls 210 to the maximum compartmentation. | | FD200 90 min fire resisting door with smoke seal and fire containment strip | | Command Station (Push Button) | | Fire Extinguisher (Water Based) | | Fire Extinguisher (Water Based) |
| | Minimum 30 min fire resisting barrier | | FD1300 120 min fire resisting door with smoke seal and fire containment strip | | Fire Alarm Battery | | Fire Extinguisher (Water Based) | | Fire Extinguisher (Water Based) |

NOTE: THIS DRAWING WAS PRODUCED IN COLOUR AND SHOULD BE PRINTED IN COLOUR

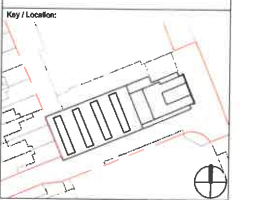
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Notes:
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Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements, consents and the like, should make due allowance for fluctuations arising from the following: design development, accurate site survey, site levels and site dimensions, construction method and building tolerances, Local Authority and Statutory consents

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| Information Exchange 1: | Information Exchange 2: |
| Information Exchange 3: | Information Exchange 4: |

| Rev: | Notes: | Date: | Drawn: | Check: |
|------|-------------|------------|--------|--------|
| A | INFORMATION | 03.02.2022 | MP | BT |
| B | INFORMATION | 04.02.2022 | MP | BT |

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Client:
Dorset Hospitality International

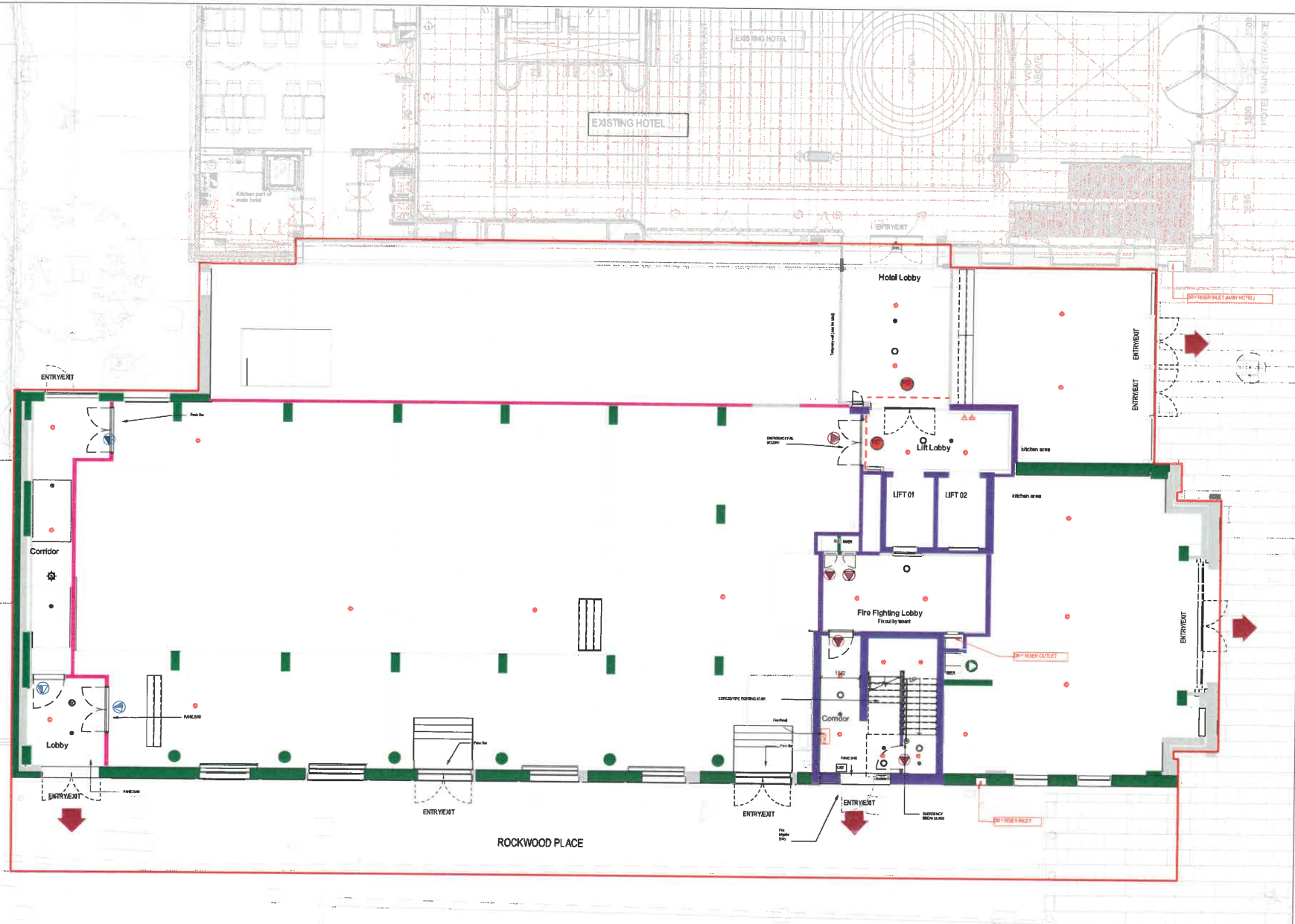
Purpose of Issue:
LICENCING

Project:
56 Shepherds Bush Green

Drawing Title:
GROUND FLOOR PLAN LICENCING

Drawn By: MP Issued By: BT Date of First Issue: 03.02.2022

Project No: 15-040 Scale @ A1: As Indicated
Drawing No: 1001-AFLA-DRG-01-00-01.00 Revision: B



1 Ground Floor
1:75

The location and type of any fire safety and any other safety equipment is shown as at present. This may be varied from time to time with the agreement of the Fire Officer or after a fire risk assessment.

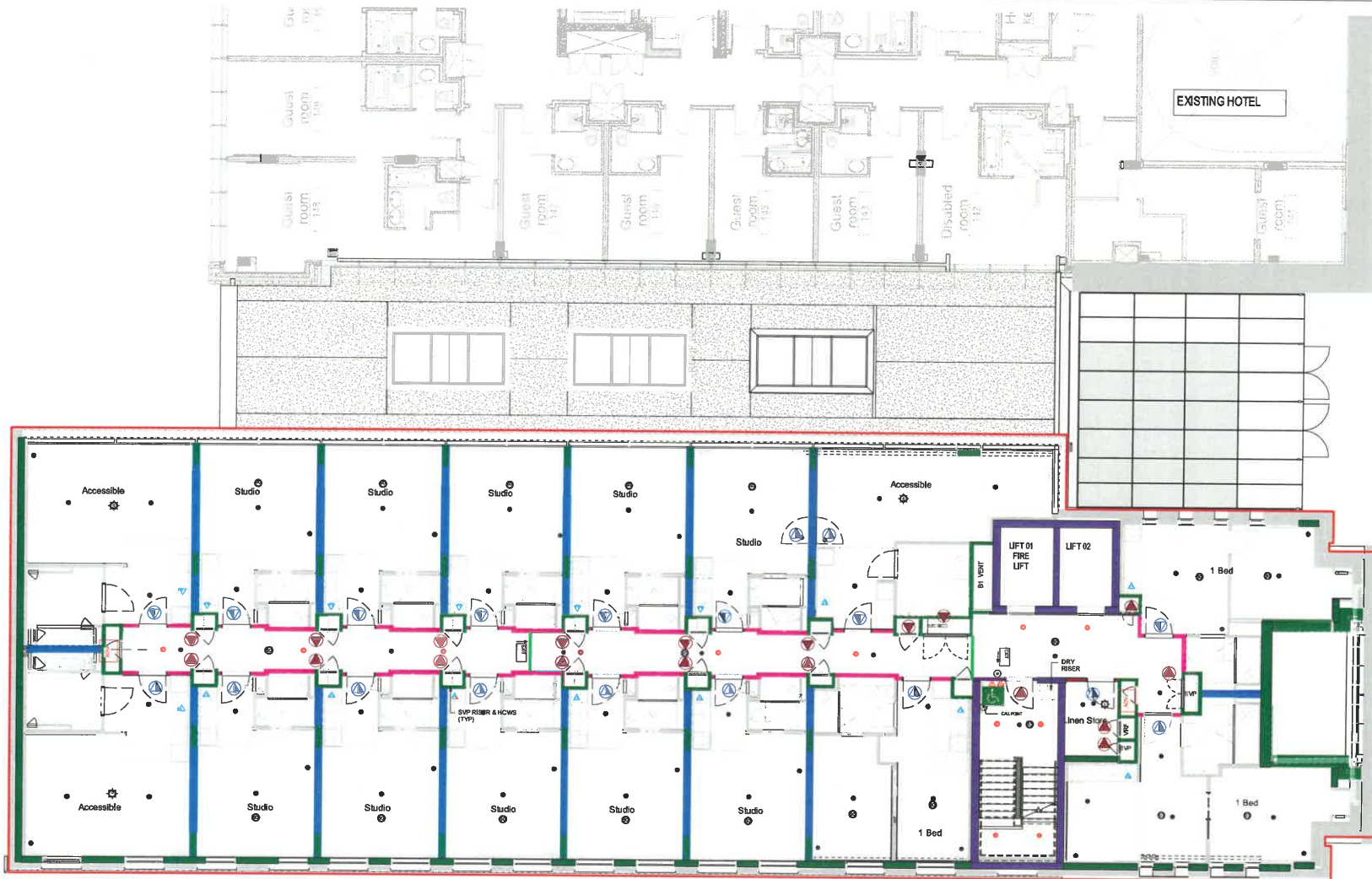
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| | | | |
|--|---|--------------------|-----------------------------------|
| Minimum 20 mins for compartmentation to height and foundation. All doors, doors etc. shall be marked by fireman compartmentation. | Fire Emergency Exit | Window Fire Escape | Main Exit Signpost Head |
| Minimum 60 mins for compartmentation to height and foundation. All doors, doors etc. shall be marked by fireman compartmentation. | F1038 20 min for the building door with smoke seal and fireman compartmentation | EXIT | Smoke Glass or other safety glass |
| Minimum 30 mins for compartmentation to height and foundation. All doors, doors etc. shall be marked by fireman compartmentation. | F1038 60 min for the building door with smoke seal and fireman compartmentation | Fire Alarm | Emergency Light Sign |
| Minimum 120 mins for compartmentation to height and foundation. All doors, doors etc. shall be marked by fireman compartmentation. | F1038 90 min for the building door with smoke seal and fireman compartmentation | Fire Alarm (Zone) | Entry barrier to lobby |
| Minimum 20 mins lobby barrier | F1038 120 min for building door with smoke seal and fireman compartmentation | Fire Alarm (Zone) | Entry barrier to shop |
| | F1038 120 min for building door with smoke seal and fireman compartmentation | Fire Alarm (Zone) | Entry barrier to kitchen |

KEY

| | | |
|--------------------|-----------------------------------|--------------------------|
| Window Fire Escape | Main Exit Signpost Head | Emergency Light Sign |
| EXIT | Smoke Glass or other safety glass | Entry barrier to lobby |
| Fire Alarm | Fire Alarm (Zone) | Entry barrier to shop |
| Fire Alarm (Zone) | Fire Alarm (Zone) | Entry barrier to kitchen |
| Fire Alarm (Zone) | Fire Alarm (Zone) | Entry barrier to kitchen |

NOTE: THIS DRAWING HAS BEEN PRODUCED BY OUR OWN AND SHOULD BE PRINTED AND COPIED IN COLOUR



1 | LEVEL 01 (1ST FLOOR)
1 : 75

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| | | | |
|---|---|---|---|
| <ul style="list-style-type: none"> Minimum 30 min fire compartment - integrity and insulation. All doors, assembly when fire is broken down and immediately. Minimum 45 min fire compartment - integrity and insulation. All doors, assembly when fire is broken down and immediately. Minimum 90 min fire compartment - integrity and insulation. All doors, assembly when fire is broken down and immediately. Minimum 120 min fire compartment - integrity and insulation. All doors, assembly when fire is broken down and immediately. Minimum 20 min study hatch | <ul style="list-style-type: none"> Fire Emergency Exit FD202 FD with the meeting door with smoke and heat management only FD203 FD with the meeting door with smoke and heat management only FD204 FD with the meeting door with smoke and heat management only FD205 FD with the meeting door with smoke and heat management only | <ul style="list-style-type: none"> Water Mist Sprinkler Head Brick Close or other assembly in wall Fire Detector Fire (Detector of heat) Fire (Detector of smoke) Fire (Detector of Carbon Dioxide) | <p>KEY</p> <ul style="list-style-type: none"> Wheelchair Access EXIT Combined Smoke/Heat Detector Fire Alarm Receiver Water Mist Sprinkler Head Brick Close or other assembly in wall Fire Detector Fire (Detector of heat) Fire (Detector of smoke) Fire (Detector of Carbon Dioxide) Emergency Light Head Cord-free led safety JAR/NOLED/SMART ACTIVETS |
|---|---|---|---|

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Notes:
Areas have been calculated in accordance with the RBCE/BSVA code of Measuring Practice, (8th edition, 2007) using the stated options MA, CA and GFA (ground floor) GFA includes external cycle and refuse areas
Any decisions to be made on the basis of these provisions, whether as to project viability, pre-letting, lease agreements, consequences and the like, should make due allowance for fluctuations arising from the following: design development, accessible site survey, site levels and site dimensions, construction method and building tolerances, Local Authority and Statutory consents

| Information Exchange 1: | | Information Exchange 2: | |
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| Proc | Notes | Date | Drawn | By |
|------|-------------|------------|-------|----|
| A | INFORMATION | 03.02.2022 | MP | BT |
| B | INFORMATION | 04.02.2022 | MP | BT |

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Client:
Dorsett Hospitality International

Purpose of Issue:
LICENCING

Project:
58 Shepherds Bush Green

Drawing Title:
LEVEL 01 (1ST FLOOR)
LICENCING

| | | |
|---------------------------------------|--------------------------|---------------------------------|
| Drawn By: MP | Issued By: BT | Date of First Issue: 03.02.2022 |
| Project No: 15-040 | Scale @ A1: As indicated | |
| Drawing No: 1001-AFL-A-DRG-01-01-0101 | Revision: B | |

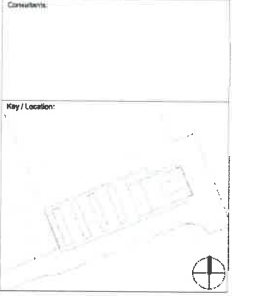
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Notes:
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Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements, conveyances and the like, should make due allowance for fluctuations arising from the following: design development, accurate site survey, site levels and site dimensions, construction method and building tolerances, Local Authority and Statutory consents.

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| Information Exchange 1: | Information Exchange 2: |
| Information Exchange 3: | Information Exchange 4: |

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|------|-------------|------------|--------|------|
| Rev: | Notes: | Date: | Drawn: | Iss: |
| A | INFORMATION | 03.02.2022 | MP | BT |
| B | INFORMATION | 04.02.2022 | MP | BT |

| | |
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Client:
Dorset Hospitality International

Purpose of Issue:
LICENCING

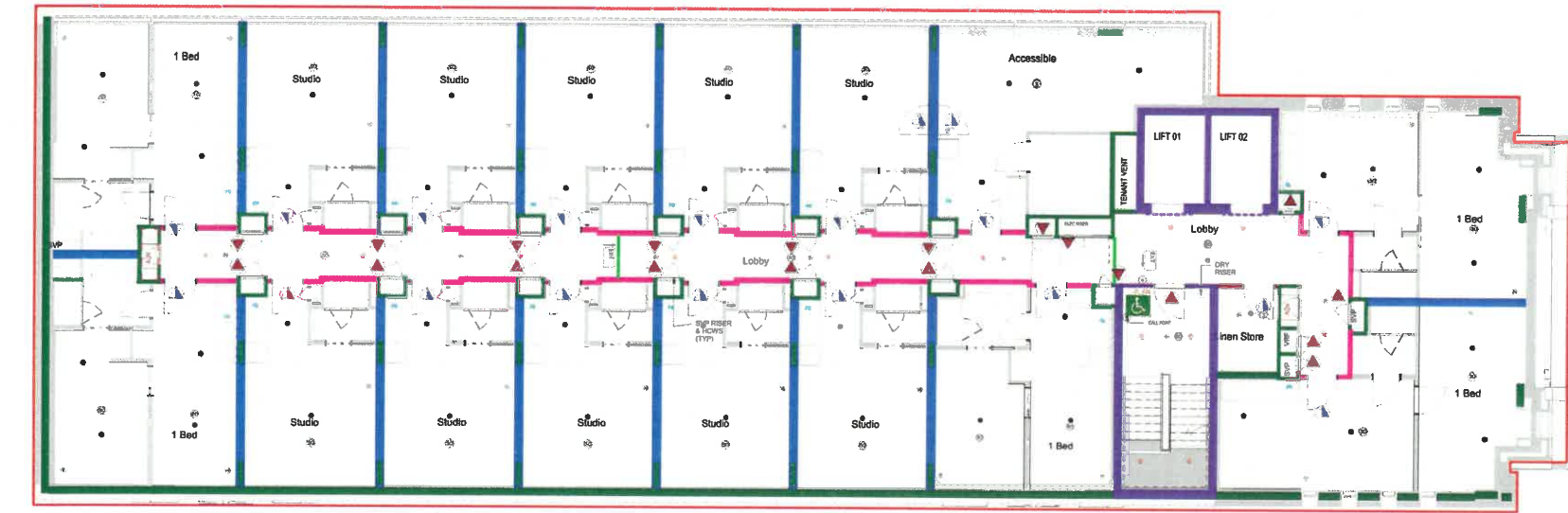
Project:
56 Shepherds Bush Green

Drawing Title:
LEVEL 02 [2ND FLOOR] LICENCING

| | | |
|-----------|------------|----------------------|
| Drawn By: | Issued By: | Date of First Issue: |
| MP | BT | 03.02.2022 |

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| Project No: | Scale @ A1: |
| 15-040 | As Indicated |

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| Drawing No: | Revision: |
| 1001-A-FLA-DRG-01-02-0102 | B |



1 LEVEL 02 [2ND FLOOR]
1:75

The location and type of any fire safety and any other safety equipment is shown as at present. This may be varied from time to time with the agreement of the Fire Officer or after a fire risk assessment.

Anything shown on this plan which is not required by the Plan Regulations is for illustrative purposes only, and does not form part of the Premises Licence

KEY

| | | | | |
|---|---------------------|-------------------|------------------|------------|
| Maximum 22 mm for construction (e.g. walls) and partitions. All doors, windows and other fixed or movable components. | Fire Emergency Exit | Wheelchair Access | Point Of Symptom | Fire Alarm |
| Maximum 22 mm for construction (e.g. walls) and partitions. All doors, windows and other fixed or movable components. | Fire Alarm | Fire Exit | Fire Alarm | Fire Alarm |
| Maximum 22 mm for construction (e.g. walls) and partitions. All doors, windows and other fixed or movable components. | Fire Alarm | Fire Exit | Fire Alarm | Fire Alarm |
| Maximum 22 mm for construction (e.g. walls) and partitions. All doors, windows and other fixed or movable components. | Fire Alarm | Fire Exit | Fire Alarm | Fire Alarm |
| Maximum 22 mm for construction (e.g. walls) and partitions. All doors, windows and other fixed or movable components. | Fire Alarm | Fire Exit | Fire Alarm | Fire Alarm |

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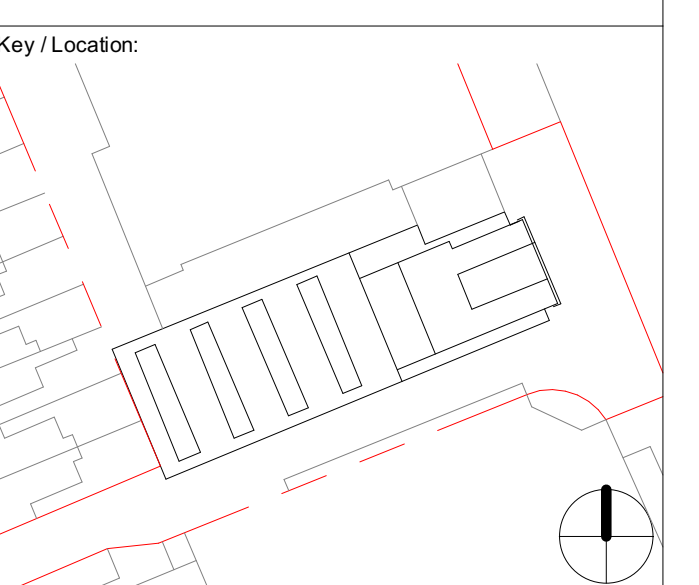
Notes:
Areas have been calculated in accordance with the RICS/BSVA code of Measuring Practice, (6th edition, 2007) using the stated options N/A, GIA and GEA (ground floor GEA excludes external cycle and refuse stores).
Any decisions to be made on the basis of these predictions, conveyances and the like, should make due allowance for fluctuations arising from the following: design development, accurate site survey, site levels and site dimensions, construction method and building tolerances, Local Authority and Statutory consents

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| Information Exchange 1: | Information Exchange 2: |
| Information Exchange 3: | Information Exchange 4: |

| Rev: | Notes: | Date: | Dwn: | Iss: |
|------|-------------|------------|------|------|
| A | INFORMATION | 03.02.2022 | MP | BT |
| B | INFORMATION | 04.02.2022 | MP | BT |

Consultants:

Key / Location:



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Client:
Dorset Hospitality International

Purpose of Issue:
LICENCING

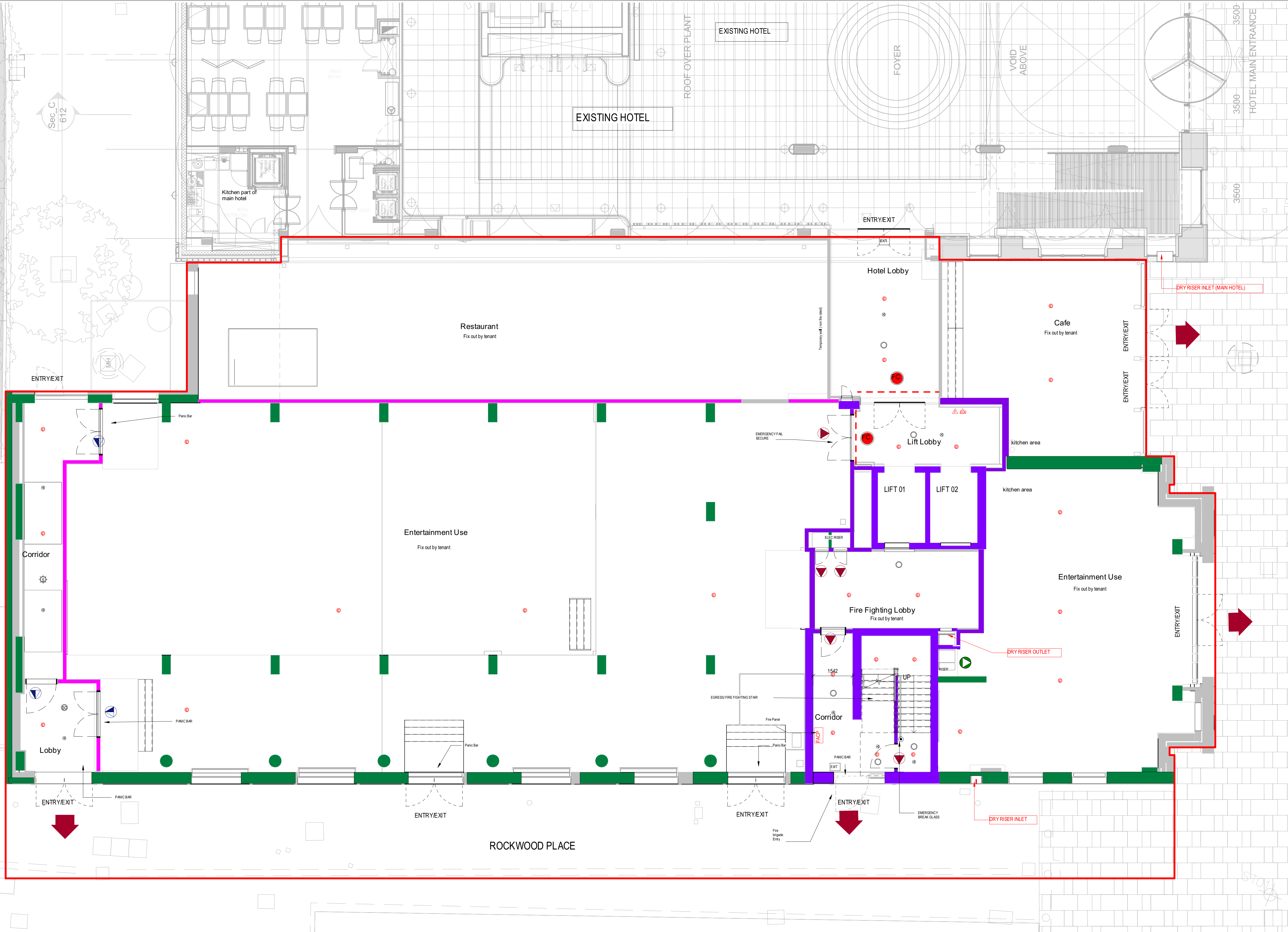
Project:
56 Shepherds Bush Green

Drawing Title:
GROUND FLOOR PLAN LICENCING

Drawn By: MP Issued By: BT Date of First Issue: 03.02.2022

Project No: 15-040 Scale @ A1: As indicated

Drawing No: 1001-A-FLA-DRG-91-00-0100 Revision: B



1 Ground Floor
1:75

The location and type of any fire safety and any other safety equipment is shown as at present. This may be varied from time to time with the agreement of the Fire Officer or after a fire risk assessment.

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| KEY | |
|-----|--|
| | Minimum 30 mins fire compartmentation - integrity and insulation. All doors, screens etc within this line to maintain compartmentation. |
| | Minimum 60 mins fire compartmentation - integrity and insulation. All doors, screens etc within this line to maintain compartmentation. |
| | Minimum 90 mins fire compartmentation - integrity and insulation. All doors, screens etc within this line to maintain compartmentation. |
| | Minimum 120 mins fire compartmentation - integrity and insulation. All doors, screens etc within this line to maintain compartmentation. |
| | Minimum 30 min cavity barrier |
| | Final Emergency Exit |
| | FD30S 30 min fire resisting door with smoke seal and intumescent strip |
| | FD60S 60 min fire resisting door with smoke seal and intumescent strip |
| | FD90S 90 min fire resisting door with smoke seal and intumescent strip |
| | FD120S 120 min fire resisting door with smoke seal and intumescent strip |
| | Wheelchair Refuge |
| | LED Emergency Exit Sign |
| | Smoke Detector |
| | Combined Smoke / Smoke Detector |
| | Fire Alarm Speaker |
| | Water Mist Sprinkler Head |
| | Break Glass or other accessory as noted |
| | Fire Basket |
| | Fire Extinguisher (Water) |
| | Fire Extinguisher (Foam) |
| | Fire Extinguisher (Carbon Dioxide) |
| | Emergency Lighting |
| | Cavity barrier in ceiling |
| | Fabric fire curtain with smoke stopping capabilities to achieve 60 min FD integrity and insulation |
| | AREA FOR LICENSABLE ACTIVITIES |

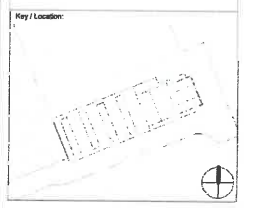
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Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements, conveyances and the like, should make due allowance for fluctuations arising from the following: design development, accurate site survey, site levels and site dimensions, construction method and building tolerances, Local Authority and Statutory controls.

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| Information Exchange 1: | Information Exchange 2: |
| Information Exchange 3: | Information Exchange 4: |

| Rev: | Notes: | Date: | Drawn: | Issued: |
|------|-------------|------------|--------|---------|
| A | INFORMATION | 03.02.2022 | MP | BT |
| B | INFORMATION | 04.02.2022 | MP | BT |

Consultants:



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Client:
Dorsett Hospitality International

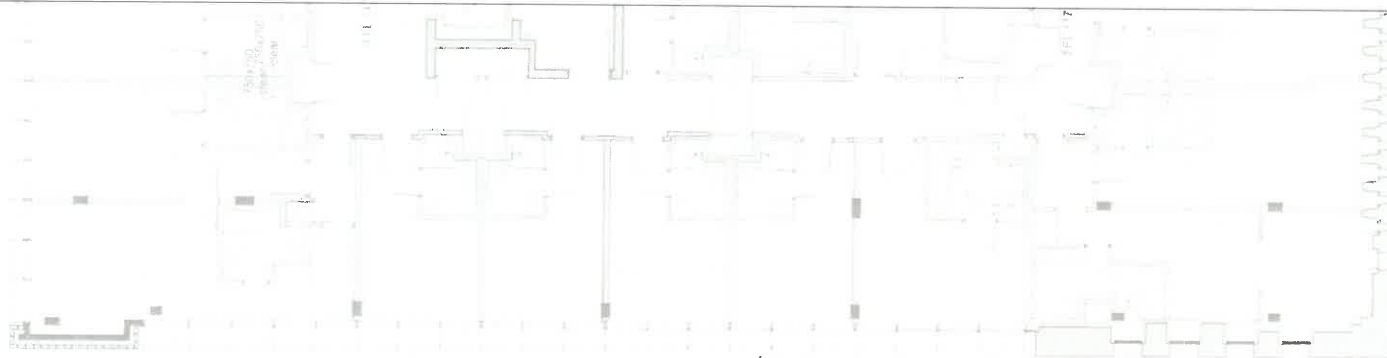
Purpose of Issue:
LICENCING

Project:
56 Shepherds Bush Green

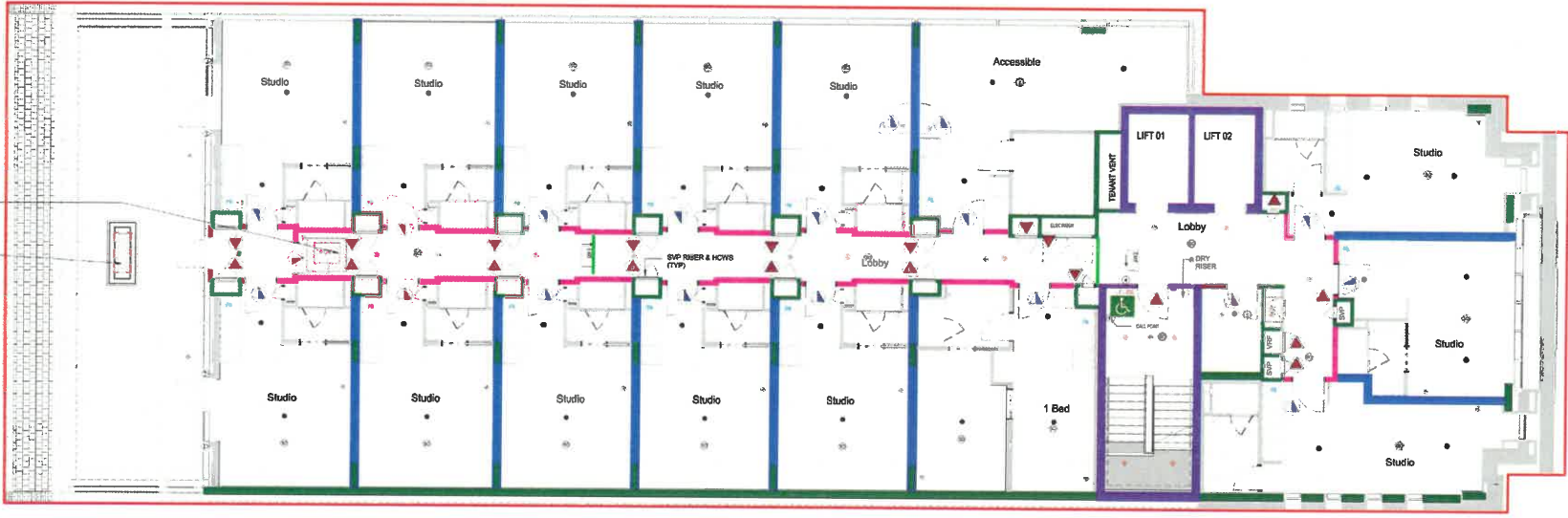
Drawing Title:
LEVEL 03 (3RD FLOOR) LICENCING

Drawn By: **MP** Issued By: **BT** Date of First Issue: **03.02.2022**

Project No: **15-040** Scale: **A1**
Drawing No: **1001-A-FLA-DRG-01-03-0103** As Indicated
Revision: **B**



EXISTING HOTEL



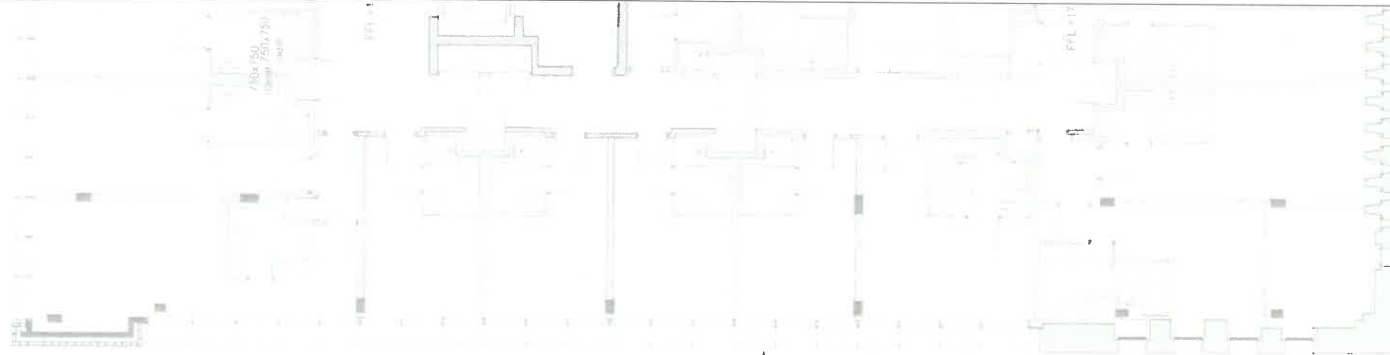
1 LEVEL 03 (3RD FLOOR)
1:75

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| KEY | | | |
|------------------------|---------------------|-------------------------|------------------------|
| Main fire escape route | Fire Emergency Exit | Wheelchair Refuge | Hand Held Extinguisher |
| Fire Escape route | Fire Extinguisher | 100% Impervious to Rain | Fire Alarm Call Point |
| Fire Escape route | Fire Extinguisher | Fire Escape route | Fire Alarm Call Point |
| Fire Escape route | Fire Extinguisher | Fire Escape route | Fire Alarm Call Point |
| Fire Escape route | Fire Extinguisher | Fire Escape route | Fire Alarm Call Point |

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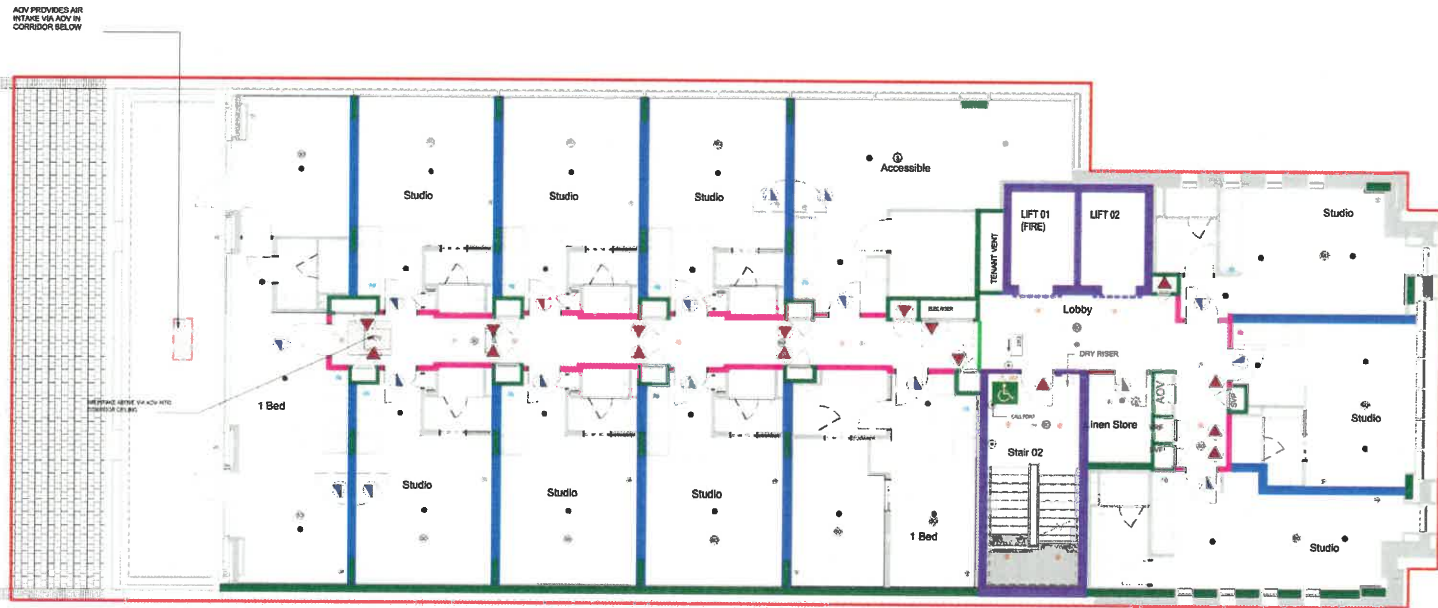
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| Information Exchange 1: | Information Exchange 2: |
| Information Exchange 3: | Information Exchange 4: |

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| A | INFORMATION | 03.02.2022 | MP | BT |
| B | INFORMATION | 04.02.2022 | MP | BT |

| | |
|-----------------|--|
| Consent: | |
| Key / Location: | |
| | |

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|--|--|
| FLANAGAN LAWRENCE | |
| 87 Portland Road London, W3 8JF T: +44 (0) 20 7700 0100 F: +44 (0) 20 7700 0200 www.flanaganolawrence.com | |
| Client: Dorset Hospitality International | |

| | |
|---|----------------------------|
| Purpose of Issue: LICENCING | |
| Project: 56 Shepherds Bush Green | |
| Drawing Title: LEVEL 04 (5TH FLOOR) LICENCING | |
| Drawn By: MP | Issued By: BT |
| Project No: 19-040 | Date @ A1: As Indicated |
| Revision: B | |



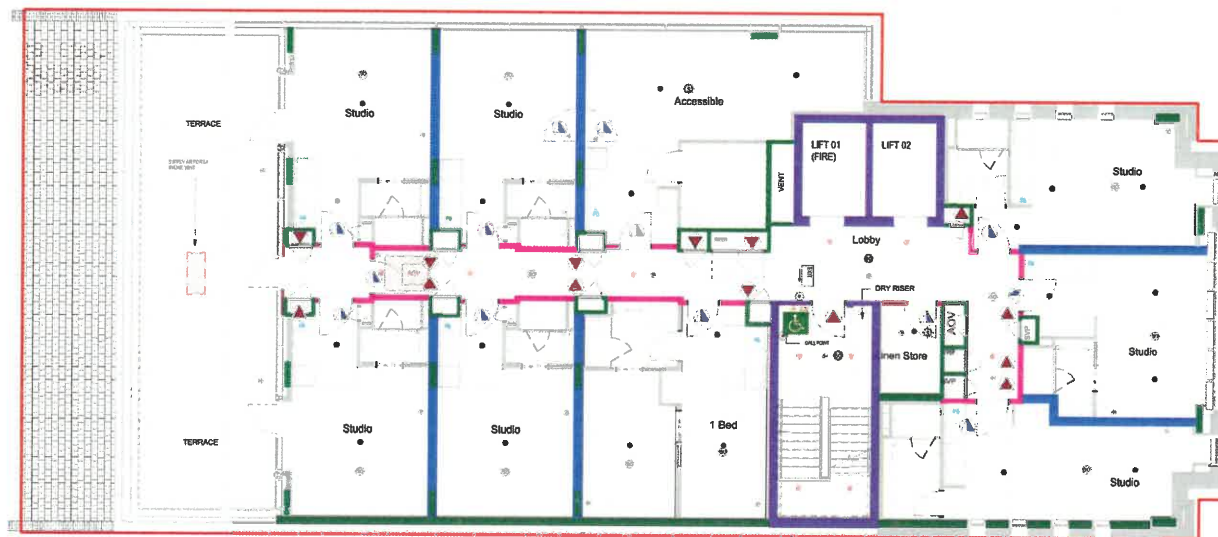
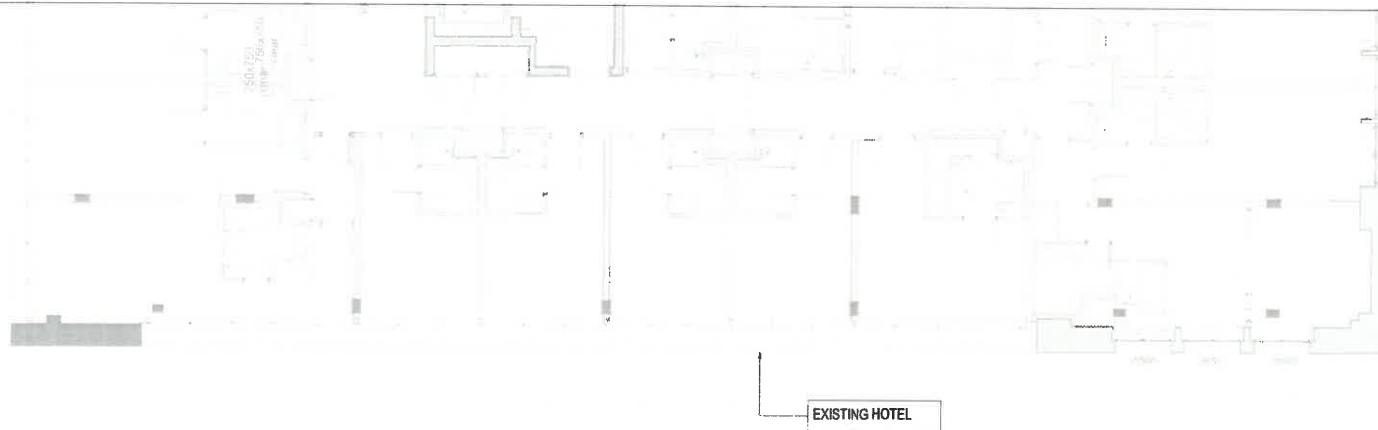
1 LEVEL 04 (5TH FLOOR)
1:75

The location and type of any fire safety and any other safety equipment is shown as at present. This may be varied from time to time with the agreement of the Fire Officer or after a fire risk assessment.

Anything shown on this plan which is not required by the Plan Regulations is for illustrative purposes only, and does not form part of the Premises Licence

| KEY | |
|---|-------------------|
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
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| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |
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| Minimum 50mm fire compartmentation - ceiling and walls - all doors, penetrations, cable ducts or service conduits | Fire Extinguisher |

NOTE THIS DRAWING WAS PRODUCED IN COLOUR AND SHOULD BE INTERPRETED ACCORDINGLY



1 LEVEL 05 [6TH FLOOR]
1:75

The location and type of any fire safety and any other safety equipment is shown as at present. This may be varied from time to time with the agreement of the Fire Officer or after a fire risk assessment.

Anything shown on this plan which is not required by the Plan Regulations is for illustrative purposes only, and does not form part of the Premises Licence

| KEY | | | |
|-----|---|--|--|
| | Minimum 20 mm fire compartmentation, ceiling and wall. Minimum 30 mm fire ceiling and wall. | | First Emergency Exit |
| | Minimum 30 mm fire compartmentation, ceiling and wall. Minimum 45 mm fire ceiling and wall. | | FD300 30 min fire separating door with smoke seal and self-closing only |
| | Minimum 45 mm fire compartmentation, ceiling and wall. Minimum 60 mm fire ceiling and wall. | | FD300 30 min fire separating door with smoke seal and self-closing only |
| | Minimum 60 mm fire compartmentation, ceiling and wall. Minimum 75 mm fire ceiling and wall. | | FD300 30 min fire separating door with smoke seal and self-closing only |
| | Minimum 75 mm fire separating barrier | | FD200 120 min fire separating door with smoke seal and self-closing only |
| | Wheelchair Refuge | | Wheelchair Refuge |
| | LED Emergency Exit Sign | | Fire Risk Rating |
| | Red Sign or other safety device | | Emergency Exit Sign |
| | Fire Alarm | | Car Park Safety |
| | Fire Alarm Control Panel | | Car Park Safety |
| | Fire Alarm Control Panel | | Car Park Safety |
| | Fire Alarm Control Panel | | Car Park Safety |

NOTE: THE DRAWING HAS BEEN PRODUCED IN ACCORDANCE WITH THE PLAN REGULATIONS AND SHOULD BE PRINTED AND COPIED IN ACCORDANCE WITH THE PLAN REGULATIONS.

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Notes:
Areas have been calculated in accordance with the RICS/MRVA Code of Measuring Practice, 6th edition, 2007 using the stated outline MA, GA and GCA ground floor GCA exclude external cycle and refuse areas
Any evidence to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements, correspondence and the like, should make due allowance for fluctuations arising from the following: design development, accurate site survey, site levels and site dimensions, construction method and building tolerances, Local Authority and Statutory consents

| Rev: | Notes: | Date: | Drawn: | Issued: |
|------|-------------|------------|--------|---------|
| A | INFORMATION | 03.02.2022 | MP | BT |
| B | INFORMATION | 04.02.2022 | MP | BT |

Consultants:

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Client:
Dorsett Hospitality International

Purpose of Issue:
LICENCING

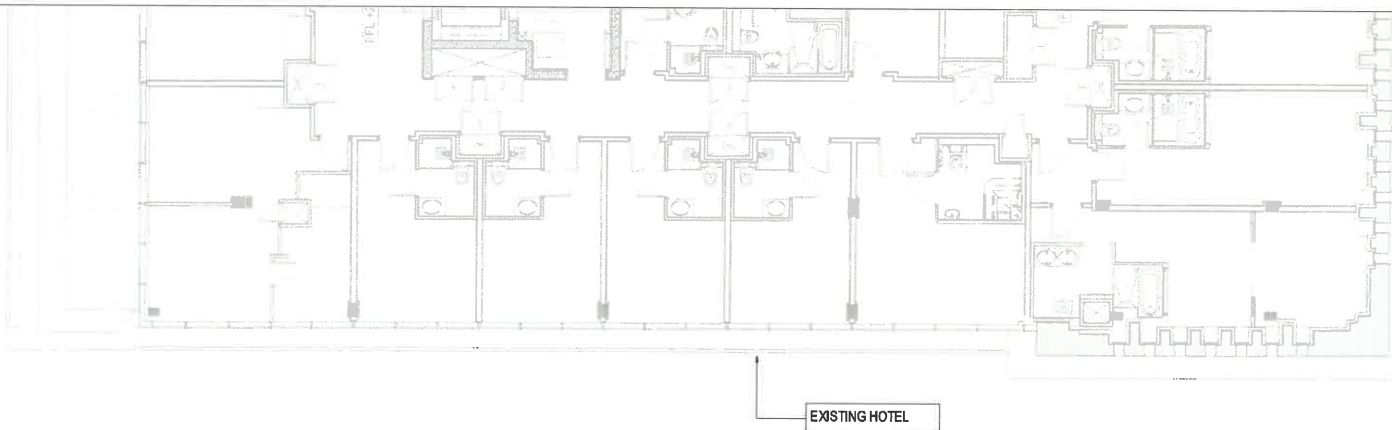
Project:
56 Shepherds Bush Green

Drawing Title:
LEVEL 05 [6TH FLOOR] LICENCING

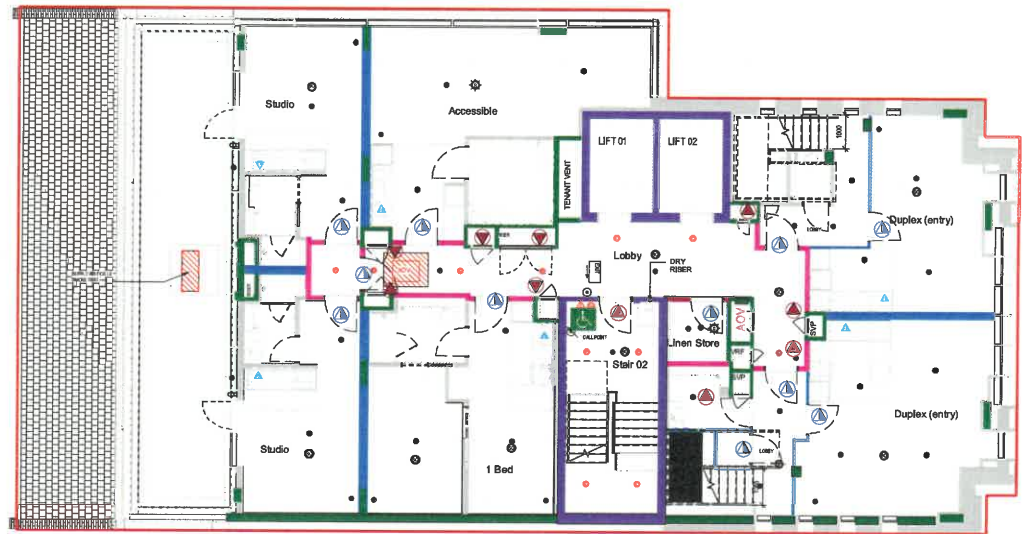
Drawn By: **AMP** Issued By: **BT** Date of PLS Issue: **03.02.2022**

Project No: **15-040** Scale: **As Indicated**

Drawing No: **1001-A-FLA-DRG-01-05-0105** Revision: **B**



EXISTING HOTEL



1 LEVEL 06 [7TH FLOOR]
1:75

The location and type of any fire safety and any other safety equipment is shown as at present. This may be varied from time to time with the agreement of the Fire Officer or after a fire risk assessment.

Anything shown on this plan which is not required by the Plan Regulations is for illustrative purposes only, and does not form part of the Premises Licence

| KEY | | | |
|-----|---|--|---|
| | Minimum 50 mm fire compartmentation - integrity and stability. All doors, windows and other details to maintain compartmentation. | | Fire Emergency Exit |
| | Minimum 45 mm fire compartmentation - integrity and stability. All doors, windows and other details to maintain compartmentation. | | F1200 30 min fire resisting door with smoke seal and self-closing device |
| | Minimum 30 mm fire compartmentation - integrity and stability. All doors, windows and other details to maintain compartmentation. | | F1300 30 min fire resisting door with smoke seal and self-closing device |
| | Minimum 15 mm fire compartmentation - integrity and stability. All doors, windows and other details to maintain compartmentation. | | F1200 30 min fire resisting door with smoke seal and self-closing device |
| | Minimum 20 mm cavity barrier | | F1200 30 min fire resisting door with smoke seal and self-closing device |
| | Whenever Bridge | | Emergency Light Sign |
| | LED Emergency Exit Sign | | Call Centre building |
| | Exit | | Room for safety with emergency lighting in accordance with fire regulations |
| | Smoke Detector | | Fire Alarm |
| | Control Smoke Detector | | Fire Callpoint (Call) |
| | Fire Alarm Speaker | | Fire Callpoint (Call) |
| | Fire Alarm Control Panel | | Fire Alarm Control Panel |
| | Fire Alarm Control Panel | | Fire Alarm Control Panel |

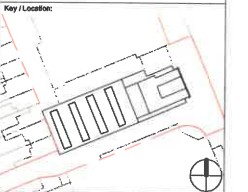
NOTE: ITEMS OUTLINED WERE PROVIDED IN COLOUR AND SHOULD BE PRINTED AND COLOURED IN COLOUR

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Note:
Areas have been calculated in accordance with the FICG 48VA code of Measuring Practice (8th edition, 2017) using the standard options MFA, GFA and GEA (ground floor GEA excludes external curbs and refuse store).
Any decisions to be made on the basis of these predictions, whether as to project viability, tendering, lease agreements, conveyance and the like, should make due allowance for fluctuations arising from the following: design development, accurate site survey, site levels and site dimensions, construction method and building tolerances, Local Authority and Statutory consents.

| | |
|------------------------|------------------------|
| Information Exchange 1 | Information Exchange 2 |
| Information Exchange 3 | Information Exchange 4 |

| Rev | Notes | Date | Drawn | Issued |
|-----|-------------|------------|-------|--------|
| A | INFORMATION | 03.02.2022 | MP | BT |
| B | INFORMATION | 04.02.2022 | MP | BT |

Consultants:



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Client:
Dorset Hospitality International

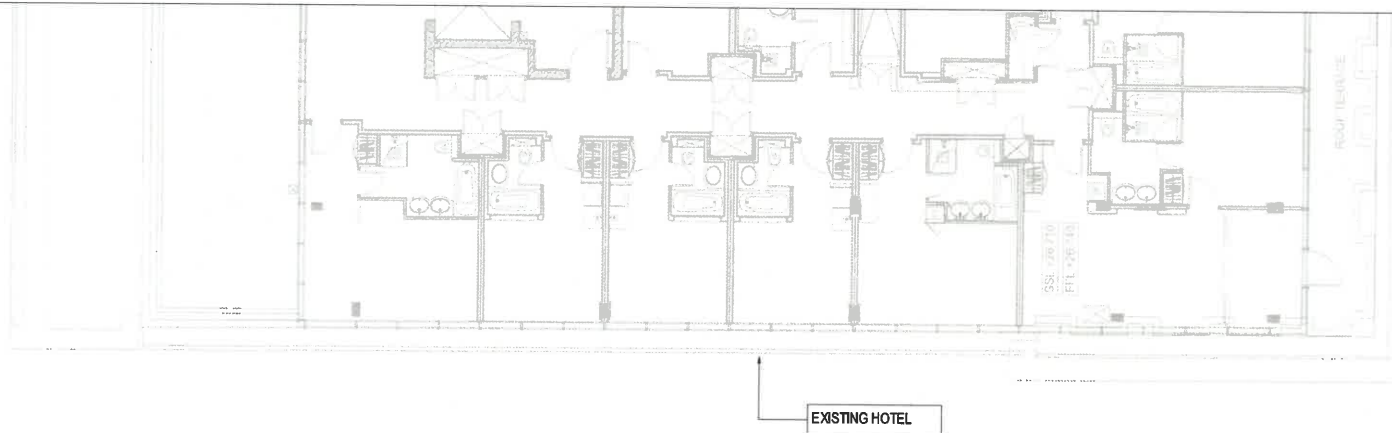
Purpose of Issue:
LICENSING

Project:
56 Shepherds Bush Green

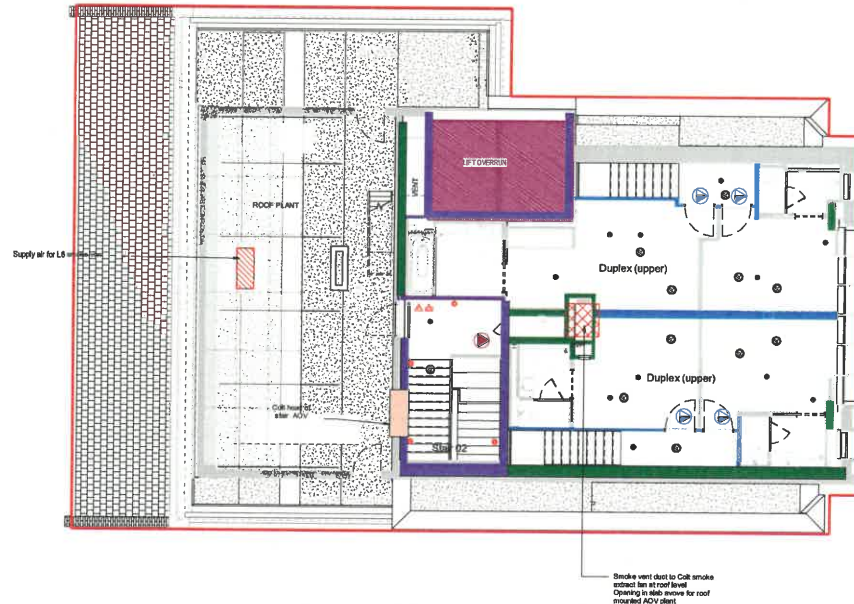
Drawing Title:
LEVEL 06 [7TH FLOOR]
LICENSING

Drawn By: MP
Issued By: BT
Date of Issue: 03.02.2022

Project No: 15-040
Scale: As Indicated
Drawing No: 1001-AFLA-DRG-01-06-0106
Revision: B



EXISTING HOTEL



1 | LEVEL 7 (8TH FLOOR)
1:75

The location and type of any fire safety and any other safety equipment is shown as at present. This may be varied from time to time with the agreement of the Fire Officer or after a fire risk assessment.

Anything shown on this plan which is not required by the Plan Regulations is for illustrative purposes only, and does not form part of the Premises Licence

| KEY | |
|---|--|
| 180mm 20 min fire compartment wall - integrity and stability. 2 hours, unless otherwise stated. | Fire Emergency Exit |
| 180mm 20 min fire compartment wall - integrity and stability. 1 hour, unless otherwise stated. | F1200 20 min fire resisting door with smoke seal and equipment shelf |
| 180mm 20 min fire compartment wall - integrity and stability. 45 mins, unless otherwise stated. | F1000 20 min fire resisting door with smoke seal and equipment shelf |
| 180mm 20 min fire compartment wall - integrity and stability. 30 mins, unless otherwise stated. | F0900 20 min fire resisting door with smoke seal and equipment shelf |
| 180mm 20 min cavity barrier | F0300 15 min fire resisting door with smoke seal and equipment shelf |
| Wheelchair Refuge | LED Emergency Exit Sign |
| Smoke Detector | Certified Smoke-Multi-Detector |
| Fire Alarm Repeater | Fire Alarm Repeater |
| Walk-In Rattle Alarm | Heat Glass when emergency mode |
| Heat Glass when emergency mode | Fire Station |
| Fire Station | Fire Detector (Heat) |
| Fire Detector (Heat) | Fire Detector (Point) |
| Fire Detector (Point) | Fire Detector (Cable Sensing) |
| Emergency Light Fitting | Clean hold in ceiling |
| Clean hold in ceiling | Alarm for smoke with integrated flow to premises on PM supply installation |
| Alarm for smoke with integrated flow to premises on PM supply installation | AREA FOR EXERCISE ACTIVITIES |

NOTE: THIS DRAWING HAS BEEN PRODUCED BY CAD/CAM AND SHOULD BE PRINTED AND COPIED BY LASER

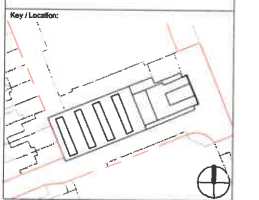
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Notes: Areas have been calculated in accordance with the RICS/EVIA code of Measuring Practice, (8th edition, 2007) using the latest options MA, GA and GEA (ground floor GEA includes external cycle and refuse stores). Any deviations to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements, conveyances and the like, should make due allowance for fluctuations arising from the following: design development, accessible survey, site levels and site dimensions, construction method and building tolerances, Local Authority and Statutory constraints

| | |
|-------------------------|-------------------------|
| Information Exchange 1: | Information Exchange 2: |
| Information Exchange 3: | Information Exchange 4: |

| Rev: | Notes: | Date: | Drawn: | Issued: |
|------|-------------|------------|--------|---------|
| A | INFORMATION | 03.02.2022 | MP | BT |
| B | INFORMATION | 04.02.2022 | MP | BT |

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Client:
Dorsett Hospitality International

Purpose of Issue:
LICENCING

Project:
56 Shepherds Bush Green

Drawing Title:
LEVEL 7 (8TH FLOOR)
LICENCING

Drawn By: MP Issued By: BT Date of First Issue: 03.02.2022

Project No: 15-040 Scale @: 1:75 As Indicated

Drawing No: 1001-WFLA-DRG-01-07-0107 Revision: B

EXISTING DORSET HOTEL

ROOF OVER PLANT



ROCKWOOD PLACE

The location and type of any fire safety and any other safety equipment is shown as at present. This may be varied from time to time with the agreement of the Fire Officer or after a fire risk assessment.

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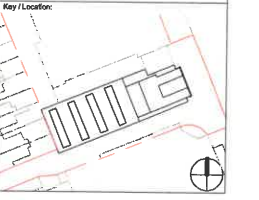
KEY legend defining symbols for fire safety equipment, structural elements, and site features. Includes categories like Fire Alarm, Fire Extinguishers, Fire Escape, and Fire Detection. A note at the bottom states: 'NOTE: THIS DRAWING WAS PRODUCE IN COLOUR AND SHOULD BE PRINTED AND CHECKED IN COLOUR'.

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Information Exchange table with columns for Exchange 1 and Exchange 2.

Revision table with columns for Rev, Notes, Date, Drawn, and Issued.

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Client: Dorset Hospitality International

Purpose of Issue: LICENCING

Project: 56 Shepherd Bush Green

Drawing Title: ROOF LICENCING

Drawn By: MP, Reduced By: BT, Date of First Issue: 03.02.2022

Project No.: 15-040, Scale @ A1: As indicated, Drawing No.: 1001-FLA-DRG-01-08-01/08, Revision: B

SHEPHERD'S BUSH GREEN

Dao by Dorsett West London

56 Shepherds Bush Green, London, W12 8QE

Premises Licence Conditions

1. High Definition CCTV shall be installed, operated and maintained, at all times that the premises are open for licensable activities or customers are on the premises and;
 - a) shall be checked every two weeks to ensure that the system is working properly and that the date and time are correct. A record of these checks, showing the date and name of the person checking, shall be kept and made available to the Police or authorised Council officers on request.
 - b) at least one camera will show a close-up of the entrance/entrances to the premises, to capture a clear, full length image of anyone entering.
 - c) shall cover any internal or external public areas of the premises where licensable activities take place except for guest bedrooms and apartments.
 - d) recordings shall be in real time and stored for a minimum period of 31 days with date and time stamping.
 - e) footage shall be provided free of charge to the Police or authorised Council officer within 24 hours of a request.
 - f) a staff member from the premises that is conversant with the operation of the CCTV system shall be on the premises at all times. This staff member will be able to show Police or authorised officers of the Licensing Authority recent data footage with the minimum of delay when requested. This data or footage reproduction shall be almost instantaneous.

2. Appropriate signage shall be displayed in prominent positions, informing customers they are being recorded on CCTV

3. A daily incident log (electric or paper based) shall be kept at the Premises and made available on request to an authorised officer of the Council or the Police or the Fire Service which shall record the following:
 - a) all crimes reported to the venue
 - b) all ejection of patrons
 - c) any complaints received
 - d) any incidents of disorder
 - e) seizures of drugs or offensive weapons
 - f) any faults in the CCTV system
 - g) any visit by a relevant authority or emergency service.

The incident record shall be kept on the premises and be available for inspection by the Police or authorised officers of the Licensing Authority at all times the premises is open.

4. The Premises shall operate a 'Challenge 25' age-restricted sales policy and promote it through the prominent display of posters.
5. The Licence Holder shall put arrangements in place to ensure that before serving alcohol or other age-restricted goods to customers they believe to be less than 25 years of age, staff ask to see accredited proof of age: that is, proof of age cards carrying the 'PASS' logo (and no others), a Passport, or UK Driving Licence bearing the photograph and date of birth of the customer.
6. All staff responsible for selling alcohol shall receive relevant training before making any unsupervised sales. The training shall include:
 - a) The Licensing Act 2003 in terms of the licensing objectives and offences committed under the Act;
 - b) The terms and conditions of the Premises Licence;
 - c) The sale of age-restricted products. Age-restricted products training shall cover the following steps: the assessment of age; how and when to challenge for proof of age; acceptable proof of age and how to check; and recording refusals.

This training shall be refreshed once per year. Staff shall sign to confirm that they have received and understood the training. Written records of this training shall be retained at the premises and made available to the Police or authorised officers of the Licensing Authority upon request.
7. All staff shall be trained in how to identify drunk or drug impaired customers. This training shall be repeated once a year. Staff shall sign to confirm that they have received and understood the training. Written records of this training shall be retained and made available to the Police or authorised officers of the Licensing Authority upon request.
8. The Licence Holder shall require staff to note any refusals to sell alcohol in a refusals log. The refusals log shall record the date and time of the refusal; the name of the staff member refusing; and the reason for refusal. The designated premises supervisor shall regularly check and sign the refusals log to ensure it is being completed by staff. The refusals log shall be made available for inspection upon request by the Licensing Team, Police or Trading Standards.
9. A record of complaints shall be maintained on the premises to record details of any complaints received. The information to be recorded shall include the date and time of complaint and subsequent remedial action undertaken and (where disclosed) the complainant's name and location.

10. The record of complaints shall be kept for 12 months from the date of the last record made and shall be available for inspection on demand by the Police or authorised officers of the Licensing Authority at all times the premises are open.
11. The Premises shall have policy on protecting children from child sexual exploitation. The policy shall include training for all staff on the signs and indications of child sexual exploitation as well as the reporting of suspicious activity to the appropriate authorities. A copy of the policy and written records of this training shall be retained at the premises and made available to the Police or authorised officers of the Licensing Authority upon request.
12. Appropriate signs/posters shall be displayed in staff areas regarding protecting children from child sexual exploitation.
13. The Premises shall operate a dispersal policy and all staff shall be trained in its implementation. A copy of the policy and written records of this training shall be retained at the premises and made available to the Police or authorised officers of the Licensing Authority upon request.
14. The premises will operate a 24 hour security policy including the use of SIA door staff as required on a risk assessment basis. A copy of the security policy and risk assessment will be provided to the police licensing officer on request.
15. The Premises shall operate a zero tolerance policy to drug use.
16. A drugs policy shall be in effect and all staff shall be trained in the implementation of the policy. A copy of this policy shall be retained at the premises and made available to the Police or authorised officers of the Licensing Authority upon request.
17. Any drugs confiscated from customers shall be stored in a locked and secured container. A log shall be maintained and kept with the drugs container. It will contain details of date/time of finding, whom found by, when deposited, when collected by Police, and signatures of depositor and collector. The Police shall be contacted to empty the box when necessary.

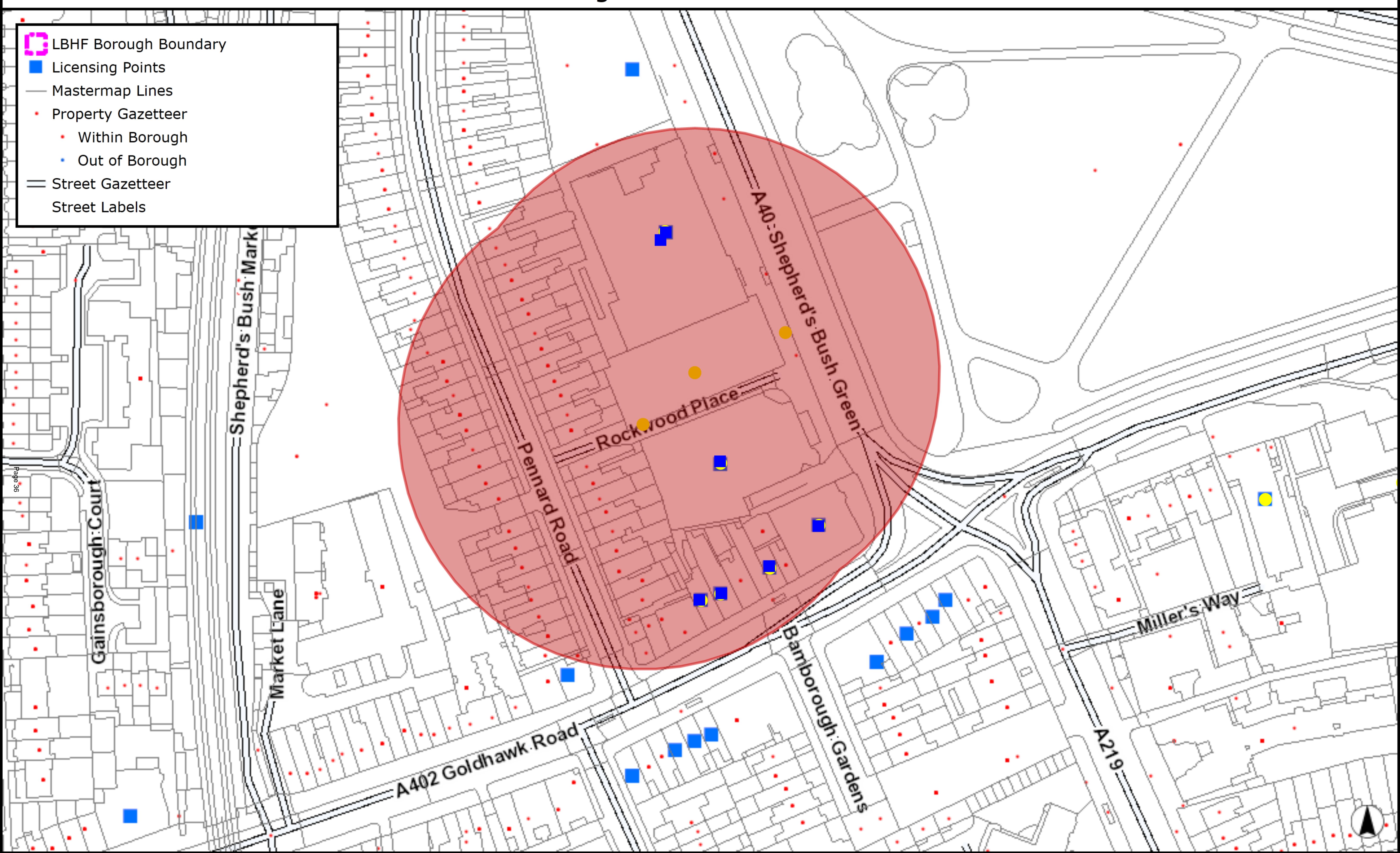
18. A responsible member of staff shall carry out a proactive litter patrol outside the premises at least two times throughout the premises' opening hours and specifically at the end of trading hours to ensure that there is no litter associated with the premises in the immediate vicinity and any such litter found shall be collected and returned to the premises for disposal with the premises' normal waste / refuse collection.
19. A written record of proactive external litter patrols shall be kept for a minimum of 31 days from the date of the last entry in the record and this record shall be available for inspection on request by authorised officers of the Licensing Authority at all times the premises are open.
20. Management shall appoint dedicated taxi or licensed mini cab companies and staff shall offer to book cars on behalf of patrons. After midnight, all patrons who seek licensed vehicles to take them away will be encouraged to remain inside whilst the vehicle is summoned.
21. All plant, machinery and any sound insulation equipment shall be correctly installed, operated, maintained and regularly serviced, all in accordance with the manufacturer's instructions, to ensure that it is operating correctly and efficiently so as not to cause a noise nuisance to neighbours.
22. All ventilation and extraction systems including any sound insulation or odour abatement equipment shall be correctly installed, operated, maintained and regularly serviced, all in accordance with the manufacturer's instructions, to ensure that they are operating correctly and efficiently so as not to cause an odour or noise nuisance to neighbours.
23. All external doors and windows shall be kept closed between 23:00 to 07:00 during the provision of regulated entertainment, except for immediate access and egress.
24. There shall be no regulated entertainment provided in or for the benefit of the outside area(s).
25. The use of any external seating areas shall not take place between 23:00 and 08:00hrs.

26. Substantial food and non intoxicating beverages, including drinking water, shall be available in all parts of the premises where alcohol is sold or supplied for consumption on the premises.
27. The following licensable activities shall be restricted to the ground floor of the premises:
- a) Performance of dance
 - b) Performance of live music
 - c) Playing of recorded music
 - d) Entertainment similar to music/dance
28. In relation to the ground floor restaurant and bar areas there shall be no new admission after 00:00 hours (midnight), other than to residents of the hotel and their bona fide guests or persons attending a pre-booked private function. All members of the general public (other than residents of the hotel and their bona fide guests or persons attending a pre-booked private function) shall be off the premises by 01.00 hours.
29. Alcohol consumed in the external areas of the premises shall only be consumed by patrons seated at tables. Vertical drinking shall not be permitted in the external areas.
30. Alcohol deliveries made by the Premises Licence Holder's trained members of staff will be carried out in accordance with the Premises Licence Holder's Challenge 25 age verification policy such that if the customer at the point of delivery appears under 25 years of age, then photographic ID proving that the recipient is 18 years of age or older will be required before the alcohol is handed over.
31. Where deliveries of alcohol are made by a third party, a contract shall be in place that states alcohol shall not be delivered to a person under 18 years of age and that age verification checks shall be undertaken for all alcohol deliveries.
32. Delivery of alcohol to members of the public shall not take place after 23:00.
33. Deliveries of alcohol from the premises shall only be ancillary to a meal.

34. The delivery of alcohol shall be made only to a residential or business address. The premises licence holder will not accept orders for delivery of alcohol to a person in a public place (for example, a street corner, park or bus stop).

London Borough of Hammersmith & Fulham

- LBHF Borough Boundary
- Licensing Points
- Mastermap Lines
- Property Gazetteer
 - Within Borough
 - Out of Borough
- Street Gazetteer
- Street Labels



| Reference | Trading As | Address | Activities | Monday to Sunday | Monday | Tuesday | Wednesday | Thursday | Friday | Saturday | Sunday |
|------------------|--------------------------|-------------------------------------|---|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|
| 2017/00175/LAPR | Shepherds Bush Empire | Shepherd's Bush Green W12 8TT | Performance of Dance | | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 01:00:00 |
| | | | Exhibition of a Film | | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 01:00:00 |
| | | | Indoor Sporting Event | | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 01:00:00 |
| | | | Performance of Live Music | | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 01:00:00 |
| | | | Playing of Recorded Music | | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 01:00:00 |
| | | | Entertainment Similar to Music or Dance | | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 01:00:00 |
| | | | Performance of a Play | | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 01:00:00 |
| | | | Provision of Late Night Refreshment | | 23:00:00 - 01:00:00 | 23:00:00 - 01:00:00 | 23:00:00 - 01:00:00 | 23:00:00 - 02:00:00 | 23:00:00 - 02:00:00 | 23:00:00 - 02:00:00 | 23:00:00 - 01:00:00 |
| | | | Sale of Alcohol On the Premises | | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 01:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 02:00:00 | 11:00:00 - 01:00:00 |
| 2005/03580/LAPRT | Jasmine Thai Restaurant | 16 Goldhawk Road W12 8DH | Sale of Alcohol On the Premises | | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 11:00:00 - 00:00:00 | 12:00:00 - 22:30:00 |
| 2020/00062/LAPR | Ajanta Indian Restaurant | 10 - 12 Goldhawk Road W12 8DH | Sale of Alcohol On the Premises | | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 11:00:00 - 00:00:00 | 12:00:00 - 23:30:00 |
| 2019/00891/LAPR | Dorsett Hotel | 58 Shepherd's Bush Green W12 8QE | Performance of Dance | 07:00:00 - 01:00:00 | | | | | | | |
| | | | Exhibition of a Film | 07:00:00 - 01:00:00 | | | | | | | |
| | | | Performance of Live Music | 07:00:00 - 01:00:00 | | | | | | | |

| | | | | | | | | | | | | |
|-----------------|-------------------------------|--|---|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|--|--|
| | | | Playing of Recorded Music | 07:00:00 - 01:00:00 | | | | | | | | |
| | | | Entertainment Similar to Music or Dance | 07:00:00 - 01:00:00 | | | | | | | | |
| | | | Provision of Late Night Refreshment | 23:00:00 - 01:00:00 | | | | | | | | |
| | | | Sale of Alcohol On and Off the Premises | 07:00:00 - 01:00:00 | | | | | | | | |
| 2020/00273/LAPR | Shikumen | 58 Shepherd's Bush Green W12 8QE | Provision of Late Night Refreshment | 23:00:00 - 00:00:00 | | | | | | | | |
| | | | Sale of Alcohol On and Off the Premises | 10:00:00 - 00:00:00 | | | | | | | | |
| 2021/00474/LAPR | The Sindercombe Social | Sindercombe Social 2 Goldhawk Road W12 8QD | Performance of Dance | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 00:00:00 | | |
| | | | Exhibition of a Film | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 00:00:00 | | |
| | | | Indoor Sporting Event | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 00:00:00 | | |
| | | | Performance of Live Music | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 00:00:00 | | |
| | | | Provision of Late Night Refreshment | 23:00:00 - 00:00:00 | 23:00:00 - 00:00:00 | 23:00:00 - 00:00:00 | 23:00:00 - 00:00:00 | 23:00:00 - 01:00:00 | 23:00:00 - 01:00:00 | 23:00:00 - 00:00:00 | | |
| | | | Sale of Alcohol On and Off the Premises | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 00:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 01:00:00 | 10:00:00 - 00:00:00 | | |
| 2020/00315/LAPR | The Kitchen | 18 Goldhawk Road W12 8DH | Provision of Late Night Refreshment | 23:00:00 - 23:30:00 | 23:00:00 - 23:30:00 | 23:00:00 - 00:00:00 | 23:00:00 - 00:00:00 | 23:00:00 - 00:00:00 | 23:00:00 - 00:00:00 | 23:00:00 - 00:00:00 | | |
| | | | Sale of Alcohol On and Off the Premises | 10:00:00 - 23:00:00 | 10:00:00 - 23:00:00 | 10:00:00 - 23:30:00 | 10:00:00 - 23:30:00 | 10:00:00 - 23:30:00 | 10:00:00 - 23:30:00 | 10:00:00 - 22:30:00 | | |

From: Rawlinson James: H&F
Sent: 27 April 2022 10:40
To: David Inzani
Cc: Dimitriou Maria: H&F
Subject: RE: Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Thanks David

Maria, noise and nuisance no longer have any objection to this application based on the inclusion of the two conditions below.

James Rawlinson
Noise and Nuisance Officer
Resident services
Hammersmith & Fulham Council

From: David Inzani
Sent: 25 April 2022 09:57
To: Rawlinson James: H&F
Cc: Dimitriou Maria: H&F
Subject: RE: Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Hi James,

I can confirm that my client is happy to agree the two additional conditions in your email of 14th April below.

Please could you confirm by return and notify the Licensing Authority that your representation is withdrawn on this basis?

Thank you for your time and consideration on this.

Best regards,

David

David Inzani |Solicitor
Poppleston Allen

From: Rawlinson James: H&F
Sent: 14 April 2022 09:37
To: David Inzani
Cc: Dimitriou Maria: H&F
Subject: RE: Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Hi David

Thanks for your time just than. Can you check if your client is happy with the following conditions: (they are largely standard wording, although I have changed hourly checks to periodically)

- 1) *A responsible member of staff shall carry out proactive noise assessments outside the premises at the boundary of the nearest residential property periodically during the use of the outside area and take any necessary remedial action.*

- 2) *A written record of proactive external noise assessments and, where applicable, remedial actions taken shall be kept for a minimum of 31 days from the date of the last entry in the record and this record shall be available for inspection on demand by authorised Council officers at all times the premises are open.*

James Rawlinson
Noise and Nuisance Officer
Resident services
Hammersmith & Fulham Council

From: David Inzani
Sent: 06 April 2022 16:19
To: Rawlinson James: H&F
Subject: Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Dear James,

I hope this email finds you well.

I act for the Dorsett Hotel Group on the above premises licence application and I am in receipt of your representation on behalf of the Noise and Nuisance Team.

I would be very grateful if we could have a call next week to discuss your representation. I am available all day Tuesday; Wednesday PM only; and Thursday AM only. Please let me know your availability.

Many thanks,

David
David Inzani | Solicitor
Popleston Allen

From: Rawlinson James: H&F
Sent: 19 March 2022 22:02
To: Licensing HF: H&F; Dimitriou Maria: H&F
Subject: RE: Licensing Act 2003 - Reference: 2022/00252/LAPR

Hi Maria

As I am now on leave until the 4th April, I would (on behalf of noise and nuisance) to like to make a holding representation against this application. The representation is on the grounds of the prevention of public nuisance and specifically that the operating schedule (as submitted with the application), is not considered sufficiently robust to ensure potential noise nuisance is fully considered.

I shall provide conditions and further detail on my return from leave.

Thanks

James Rawlinson
Noise and Nuisance Officer
Resident services
Hammersmith & Fulham Council

From: Cllr Umeh Mercy: H&F

Sent: 17 March 2022 15:30

To: Licensing HF: H&F; Dimitriou Maria: H&F; Trading Standards: H&F; Environmental Protection: H&F; Miller Daniel: H&F

Cc: Cllr Jones Andrew: H&F; Cllr Perez Natalia: H&F

Subject: Re: Licensing Act 2003 - Reference: 2022/00252/LAPR

Dao by Dorset West London Walkabout Inn, 56 Shepherd's Bush Green London W12 8QE

Dear Maria

I Cllr Mercy Umeh, the ward councillor for Shepherds Bush Green Ward is objecting to above licensing application for all the hours stated on the application. As these hours, 24 hours a day for 7 days a week, (their bona fide guests and patrons attending a private function for 24 hours a day seven days) will have a massive impact on the life of our residents.

General opening hours from 12.00 am to 12.am daily – effectively trading 24 hours daily = 7 days a week

Licence for sales of alcohol on and off the premises from 07.00am to 01.00am (next day = 7 days a week

Licence for exhibiting film from 07.00am to 01.00am (next day) = 7 days a week

Licence for performance of dance 07.00am to 01.00am (next day -= 7 days a week

Licence for entertainment similar to music or dance 07.00am to 01.00am (next day -= 7 days a week

Entertainment Licence for entertainment similar to live music from 07.00am to 01.00 am (next day) = 7 days a week

Entertainment Licence for recorded music from 07.00am to 01.00am (next day) = 7 days a week

Licence for late night refreshment from 11.00pm to 01.00am (next day) = 7 nights a week

Practically, there will long hours everyday of the week, all these long hours of noise pollution from the event will have massive impact on the health of our residents.

With all the above concerns mentioned I am objecting alongside of the residents.

Kind Regards

Cllr Mercy Umeh

Deputy Whip

Shepherds Bush Green Ward

From: BT Chris Noonan
Sent: 16 March 2022 19:31
To: Dimitriou Maria: H&F
Cc:

Subject: OBJECTION = Re: Application by Green Lux Operations (UK) Ltd - (T/A Dao by Dorsett West London) = Ref: 2022/00252/LAPR

16 March 2022

Attention

Ms Maria Dimitriou
Case Officer – Licensing
London Borough of Hammersmith & Fulham
Town Hall
King Street
London W6 9JU.

Dear **Ms. Dimitriou**

OBJECTION = Re: Application by Green Lux Operations (UK) Ltd – (T/A Dao by Dorsett West London) = Ref: 2022/00252/LAPR

WE, as Greenside Residents Action Group, long established as a local resident's amenity lobby group, wish to register out OBJECTION to the current Application for alcohol and related entertainment licenses for the new Palladium premises, located on the former Walkabout site at 56 Shepherds Bush Green, London W12 8QE.

The basis and grounds for our Objection are attached in the accompanying document, submitted in PDF format.

Please acknowledge receipt of this Objection and the accompanying paperwork. If for any reason you cannot access or clearly print/read the attached file, do alert us to forward hard printed copies in good time before the current consultation period expires.

If any of your colleagues in Licensing & Planning should be notified of our Objection, please just alert us with the person's contact email details.

Should there be a public committee hearing on any aspects of the Licensing Applications (and /or related Planning matters concerning the new Palladium), we would welcome being invited to attend and present.

Yours for **Greenside Residents Action Group**

Chris Noonan

16 March 2022

Ms Maria Dimitriou
Case Office – Licensing Dept
Town Hall
London Borough of Hammersmith & Fulham
King Street
London W6 9JU

Dear Ms Dimitrou

Re: Application by Green Lux Operations (UK) Ltd – (T/A Dao by Dorsett West London) – Reference 2022/00252/LAPR

We as residents object to the granting of entertainment licenses for the premises now known as The Palladium, Shepherds Bush. Our grounds for objection and related comments follow.

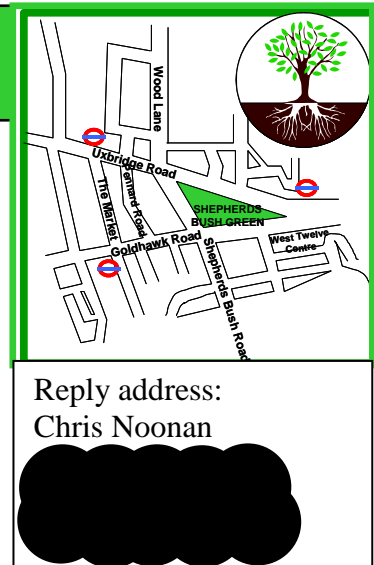
The Palladium Building’s main use:-

The recent construction on the site of the former Walkabout Inn is designed as **74 serviced apartments**, a multi storey complex on levels 1-8 owned and operated by the immediately adjacent Dorset Hotel next.

The License being applied for by Green Lux: is to allow use of the D2 space which takes up the whole of the building’s ground floor/street level area, frontage facing on the Shepherds Bush Common, and south side butting onto the public right of way of Rockwood Place.

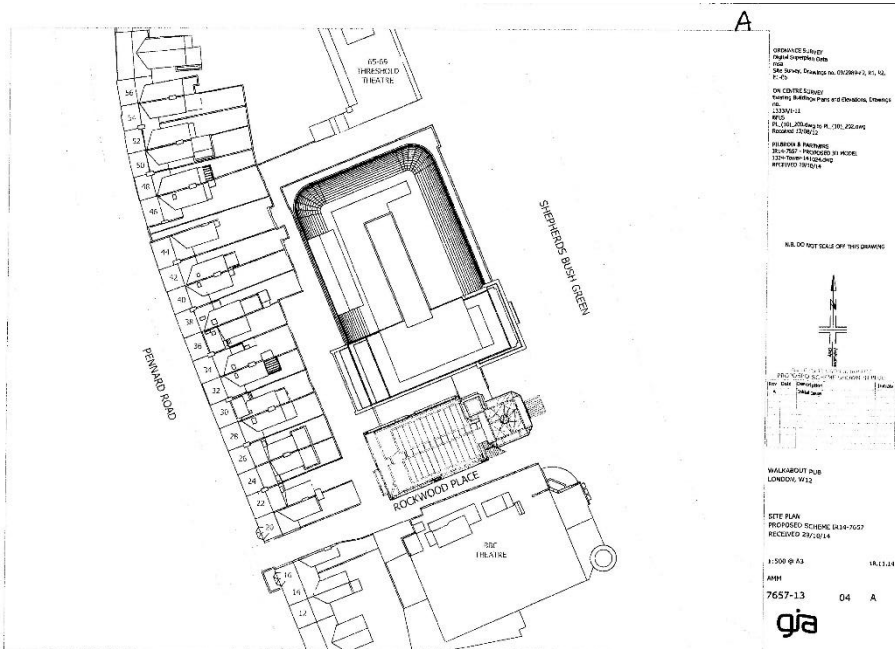
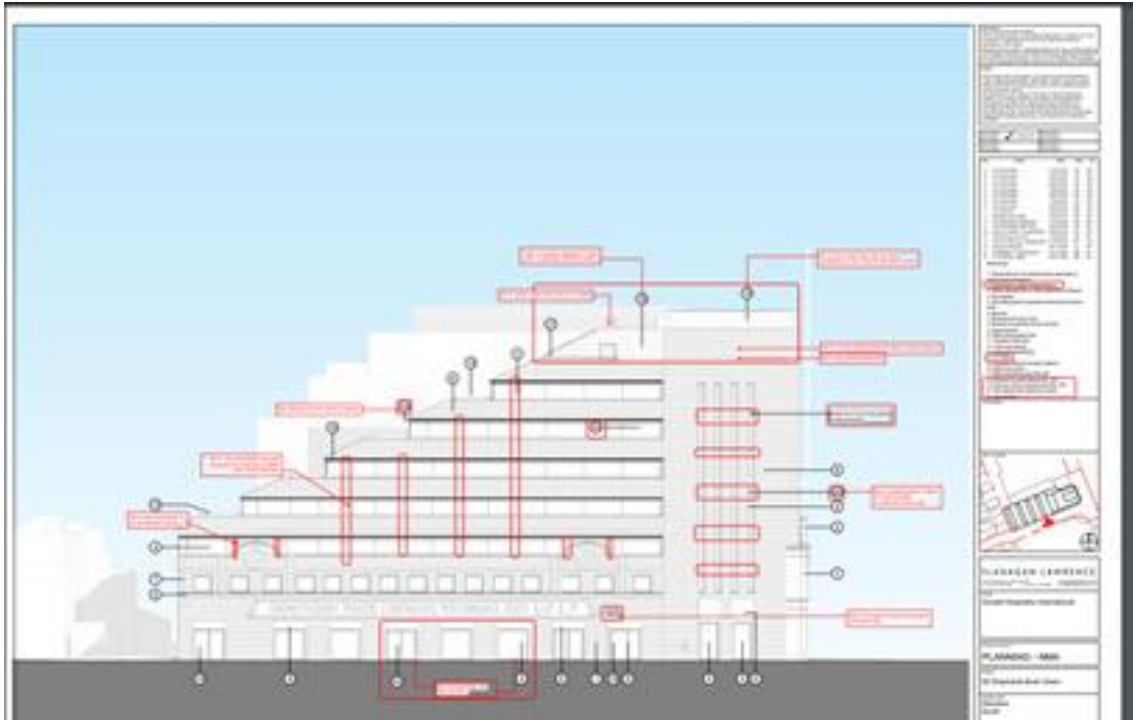
The Application seeks:

- General opening hours from 12.00 am to 12.am daily – effectively trading 24 hours daily = 7 days a week
- Licence for sales of alcohol on and off the premises from 07.00am to 01.00am (next day = 7 days a week
- Licence for exhibiting **film** from 07.00am to 01.00am (next day) = 7 days a week
- Licence for performance of **dance** 07.00am to 01.00am (next day -= 7 days a week
- Licence for **entertainment similar to music or dance** 07.00am to 01.00am (next day -= 7 days a week
- Entertainment Licence for **entertainment similar to live music** from 07.00am to 01.00 am (next day) = 7 days a week
- Entertainment Licence for **recorded music** from 07.00am to 01.00am (next day) = 7 days a week
- Licence for **late night refreshment** from 11.00pm to 01.00am (next day) = 7 nights a week



We Residents are objecting to the Granting of the various Entertainment Licenses as applied for above because of the proposed hours of entertainment.

We believe there will be an intolerable burden of noise and nuisance placed on nearby residents caused the building's location see below (Pennard Road houses were uniformly built with all their bedrooms at their rear i.e. now overlooked by the new 8 floor Palladium building and impacted by the potential noise from the newly confined layout of Rockwood Place).



We assume (See adjacent diagram) that the flexible and very large ground floor space for which licenses are being sought, will be made available to leisure, dining and entertainment businesses independent of the Dorsett's Hotel expertise.

The large number (the license application does not specify) of additional patrons drawn to the new Palladium leisure offerings late at night will have an incremental and negative cumulative effect when added to the late night footfall already generated by the Empire Theatre next door, 4 pubs, restaurants, and the multiple late night take-aways and off licenses all within a 3 minute of the Palladium building. That cumulative effect would tip the fine balance and make nearby resident' lives a misery.

Residents are also opposing the granting of a liquor license for on or off site sales believing that the granting of a liquor license would be in direct conflict with the Council's Cumulative Impact Policy which is currently in place as recognition of the over-saturation of licensed premises already in the area.

We set out below additional detail to support our objections as to the hours of entertainment/dining offerings and our objection to the granting of a liquor license.

History of problems with previous Entertainment/Pub Venues on this same Site

Whilst the Palladium is a new building with no track record as yet, Pennard Road residents and the Council do have a 20 year record of proven complaints of noise, anti-social behaviour and intimidation issues caused by patrons of the 2 entertainment venues that previously occupied this same site. (Firstly the Bottom Line Irish Pub then the Walkabout Australian themed Pub).

These repeating and ongoing disturbances to residential neighbours were recorded, reported by residents, Council noise Abatement Officers and the Police, and debated publicly in numerous Magistrates Court and Council License Panel Hearings. In each instance extended operating hours for entertainment and liquor (as is being applied for in the Palladium License) were rejected on the basis of the negative impact to residents already caused by the existing shorter hours of operation.

Residents' Concerns of potential for increased Noise levels due to the new Rockwood Place Layout

- The physical layout of Rockwood Place has now been changed by the construction of the Palladium Studios. The Palladium site was previously occupied by a two level pitched roof building opposite the Empire Theatre's 5 level building thus allowing some sound to escape skywards in the space between the lower level Palladium Site and the 5 floor Empire Theatre opposite.
- That 2 floor building has now been replaced with the 8 floor Palladium creating a high walled corridor opposite the 5 floor Empire. There is therefore significant potential for the noise from the adjoining Rockwood Place commercial users to be trapped, amplified and echo, elevating the noise nuisance impacting the bedrooms of nearby Pennard Road residents.

It should be noted that Rockwood Place suffers bursts of noisy pedestrian traffic when:

Patrons queue for entry into the Empire Theatre pre-show, and fans and autograph hunters are congregating outside the Stage Doors - which open onto Rockwood Place - at the end of the evening. Pedestrian footfall and vehicular noise from visitors' parking and collecting cars – Pennard Road is the nearest parking for Shepherds Bush Green, Goldhawk Road, Uxbridge Road and Westfield late night pubs, entertainment, leisure and food venues.

Pedestrian footfall from patrons being dropped off in Pennard Road at the start of an evening and/or awaiting pick-up at the end.

The proposed Licence, if granted to Palladium, would result in keeping late night activity disturbance to residential neighbours for longer into the night

- Residents are concerned that when patrons leave nearby pubs, restaurants and leisure venues they should be encouraged to quickly leave the area whilst public transport options exist. Patrons should not be encouraged to linger into the early hours by extending their drinking, dining and entertainment at the Palladium when all their other options have (quite reasonably!) have closed for the evening.
- The Palladium's ground floor entertaining space has been designed with the intention of drawing potential patrons into the building. Large clear glass entrance doors onto Shepherds Bush Green, a further 10 clear glass windows/fire doors along the length of Rockwood Place all designed to entice footfall to the crowd gathered inside. (See diagram 2 above used to illustrate the huge size of the entertainment space).
- The question of how noise generated from the crowd inside the ground floor space is contained has not yet been proven and may well, with the apparent absence of acoustic lobbies and the large expanse of glass prove to be problematic with noise escape into Rockwood Place.

Limited Public Transport Options Late at Night to get patrons home

Both London Underground and Overground departing services end just around midnight. Patrons leaving the area therefore rely on sparsely running late night buses stopping at bus stops immediately outside the Palladium and Dorset Hotels.

The congregation of large groups of patrons talking and or continuing the evening's festivities causes a major disturbance to nearby residential neighbours. (Evidenced by Videos recorded and written recorded history of previous license Panel hearings for this site). Late night operating of the Palladium would re-visit those problems which have over the past twenty years proved to be a disturbance to nearby homes.

In Conclusion

1. To minimise the impact that additional Palladium patrons will have on surrounding residential neighbours, we believe than any entertainment use of the sizable ground floor space, should be limited to finishing at 10pm with all public off the premises by 10.30pm.
2. Those operating hours would ensure Palladium patrons leave the area prior to patrons leaving other surrounding venues typically around 10.30pm to 11pm, and so better manage the cumulative effect of large numbers congregating and causing noise, nuisance, litter and general disturbance at closing time.
3. We believe that the granting of a license to sell liquor on and off the premises should not be granted in view of the Council Policy already in place which recognizes the saturation of the borough by licensed premises and the problems their activities accrue.
4. It is important the LBHF Council takes a stand in its position that reflects its previous decision to apply a Cumulative Impact Policy status to Shepherds Bush, as an area experiencing a saturation level of night economy related business. And additionally any extension of hours for night economy licences granted at this Town Centre location will further impact negatively on local issues of crime & disorder, public safety, public nuisance, and possibly the protection of children

5. Palladium may consider revising its Application for more limited services targeted to its accommodation residents, such that its operations do not impact on the environment external to the actual premises.

Yours on behalf of Greenside Residents Action Group



| | | | | |
|---|--|--|--|---|
| Lorna Elliott ● Pennard Road London W12 8DS | Camilla Broadbent ● Goldhawk Road London W12 8QP | Roger Manku ● Pennard Road/ London W12 8DS | Chris Noonan ● Pennard Road London W12 8DW | Lynnette Southall ● Pennard Road London W12 8DW |
|---|--|--|--|---|

From: Carleton James: H&F
Sent: 28 February 2022 16:26
To: Licensing HF: H&F
Subject: RE: Licensing Act 2003 - Reference: 2022/00252/LAPR

Dear Licencing,

Planning permission was granted for the change of use of the existing cinema hall into a restaurant and bar with stage facility for live entertainment with associated ancillary office accommodation together with external alterations to provide new window openings in the South elevation and a new entrance arch in the East elevation in 1991. I attach decision notice with conditions.

Condition 7 was imposed restricting opening hours. We would object to the increase in the opening hours, in breach of condition 7.

Kind regards,

James Carleton
Principal Planning Enforcement Officer
Development Management – Enforcement Team
The Economy Department
Hammersmith and Fulham Council

Town and Country Planning Act 1990

Grant of Planning Permission

Applicant: Charwood Entertainment Ltd. Date of Appl: 31.07.91
Agent: David Lawrence Design Partnership, T.P.Number 00719/0058/000
Address Aire Valley Studio, U.P.R.N.03044/0067/2/000
396 Kirkstall Road, Reg Number: 91/10/01076/03
Leeds,
West Yorkshire, LS4 2HQ.

Location and Description.

Odeon 2 (Former Classic Cinema), Shepherds Bush Green,
W12.

Change of use of the existing cinema hall into a restaurant and bar with stage facility for live entertainment with associated ancillary office accommodation, together with external alterations to provide new window openings in the South elevation and a new entrance arch in the East elevation.

Drq. Nos: 9192/03A, 02 and 04.

Unless otherwise stated the permission is a planning permission under Part III of the Town and Country Planning Act 1990 only. It must not be taken as implying that any other consent, permission or approval of the Council under any other statutory powers, or in any other capacity, that may be necessary in connection with the development will be given.

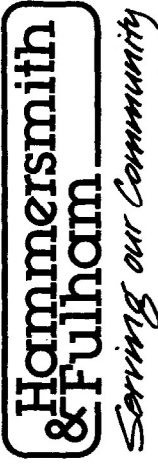
Particulars of Decision

Permission Granted

Subject to the following Conditions and reasons:

- 01 The development hereby permitted must be begun not later than the expiration of 5 years from the date of the planning permission.
- 01 Condition required to be imposed by section 91(1)(a) of the Town and Country Planning Act 1990.
- 02 Particulars and samples of materials to be used in all external faces of the building(s), and surface treatments, must be submitted to and approved by the Council before any works affected thereby are begun.
- 02 To ensure a satisfactory architectural appearance.
- 03 Details of the front elevation must be submitted to and approved by the Council before any works are commenced.
- 03 In order that the Council may be satisfied as to the details of the

London Borough of Hammersmith and Fulham
Town Hall, King Street, London W6 9JU
Telephone: 081-748 3020



continued/

proposal.

04 Details of the extraction and ventilation system to be installed must be submitted to and approved by the Council before the use hereby permitted is commenced.

04 In order that the Council may be satisfied as to the details of the proposal.

05 The stage facility shown on the approved drawing 9102/02 must be provided and retained permanently and be capable of use for live entertainment at all times.

05 To ensure compliance with the Council's policies for the site as outlined in the Borough Local Plan 1989 and the Unitary Development Plan (Deposit version).

06 No live music or amplified sound must be audible within or at the boundary of any residential premises which adjoin the premises to which this application relates.

06 To safeguard the amenities of the adjoining premises.

07 No customers shall be on the premises between the hours of 00.30 hours and 09.00 hours on Tuesday to Sunday inclusive nor between the hours of midnight Sunday and 09.00 hours on Mondays.

07 To ensure that the amenities of the surrounding neighbourhood are not unduly affected.

For your information:-

Dated 17.12.91

Reg number 91/10/01076/03

Acting
Director of Development Planning

Duly Authorised by the Council to
Sign this Notice.

From: David Inzani
Sent: 12 May 2022 16:23
To: Carleton James: H&F
Cc: Licensing HF: H&F; Dimitriou Maria: H&F
Subject: RE: WITHOUT PREJUDICE Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Dear James,

Thank you for your email.

I have forwarded this to my client and their planning advisers.

As this is a licensing matter and as you correctly highlight in your email below, the application must be determined by the Licensing Committee and not be determined on conditions contained in the planning permission which currently applies to 56 Shepherd's Bush Green.

In the circumstances, please confirm that your emails in relation to this matter are for information purposes and are not a representation to the application.

Kind regards,

David
David Inzani |Solicitor
Poppleston Allen

From: Carleton James: H&F
Sent: 11 May 2022 10:24
To: David Inzani
Subject: RE: WITHOUT PREJUDICE Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Dear David,

Sorry I misread your initial email. I appreciate you may want to speak to me directly, however, I need to go through the substantial planning history of the site. A phone call at this time would not be productive. Licencing legislation is separate to planning, and therefore the licence should not be refused on planning grounds. The granting of the license would not prevent us from taking enforcement action from the planning side.

I am not familiar with this site, and therefore did not appreciate the full planning history of this site. The hotel is located at no.58, as opposed to 56 and therefore did

not pick up in my original search. Condition 7 you referenced from the 1991 application is not relevant and would have been superseded by latter permissions.

Planning permission ref. 2012/03043/FUL was granted at no.58 Shepherd's Bush Green for the Use of the premises as a 322 bedroom hotel; leisure facilities comprising meeting rooms, bar, two restaurant areas, spa, staff facilities and plant at ground level and one basement level; replacement of existing curved roof with glazed roof and altered roof profile and extended third to fifth floor levels to the north, roof top extension and erection of a plant above to southern side; demolition of rear elevation facing west onto Pennard Road and parts of the side elevations and replacement with new elevations involving alterations to existing footprint of the building to the north and west; single storey extension to south elevation; erection of new entrance canopy to the front façade at Shepherd's Bush Green at ground floor level; installation of flagpoles over new front entrance; modification to and opening up of doorways and windows in front elevation; provision of loading bay to northern elevation; erection of two sets of entrance gates onto Shepherd's Bus

See decision notice attached. Condition 22 imposes restrictions on the opening hours of the restaurant and bar.

I see planning permission was also approved ref. 2016/04044/FUL to redevelop the building next door at 56 in connection with the hotel. The latest variation ref. 2018/02058/VAR for the "Demolition of existing building (with the exception of the frontage) and redevelopment to provide an 8 storey plus basement building, comprising entertainment use (D2) at basement and ground floor level, restaurant extension (to the neighbouring hotel) at ground floor level, with 74 serviced apartments on the upper floors (in connection with the neighbouring hotel)." I attach the decision notice.

Please ensure the business operates in accordance with the conditions.

I will make licensing aware of condition 22.

Kind regards,
James Carleton
Principal Planning Enforcement Officer
Development Management – Enforcement Team
The Economy Department
Hammersmith and Fulham Council

From: David Inzani
Sent: 10 May 2022 17:03
To: Carleton James: H&F
Cc: Dimitriou Maria: H&F ; Licensing HF: H&F
Subject: RE: WITHOUT PREJUDICE Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

WITHOUT PREJUDICE

Dear James,

Thank you for your email today.

I have left you a voicemail as I have tried to call you on this.

Having taken my client's instructions I am authorised to amend condition number 28 in our *premises licence application* (a further copy of which I attach) on the following basis:

- *28. In relation to the ground floor restaurant and bar areas there shall be no new admission after 0000 hours (midnight), other than to residents of the hotel and their bona fide guests or persons attending a pre-booked private function. All members of the general public (other than residents of the hotel and their bona fide guests or patrons attending a pre-booked private function) shall be off the premises by 0030 hours the following day on Mondays to Saturdays and by 0000 hours (midnight) on Sundays.*

This condition (and as I have highlighted in yellow) replicates the planning condition number 7 on planning permission dated 31st July 1991 a copy of which I attach.

Please confirm that on this basis and in line with what you require in your representation you will now withdraw your representation. I have copied in the Licensing Officer and the general Licensing email address so that all parties are aware of the amendment we are making to our premises licence application.

I look forward to hearing from you.

Kind regards,
David

David Inzani |Solicitor
Popleston Allen

From: Carleton James: H&F
Sent: 10 May 2022 11:04
To: David Inzani
Subject: RE: Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Dear David,

Submit an application to vary the application. However, I am not in a position at this time to inform you as to whether an application will be successful.

I can inform licencing of a pending application, and can update if and when the variation application is granted.

Kind regards,

James Carleton
Principal Planning Enforcement Officer
Development Management – Enforcement Team
The Economy Department
Hammersmith and Fulham Council

From: David Inzani
Sent: 05 May 2022 16:28
To: Carleton James: H&F
Subject: RE: Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Dear James,

Thank you for your email.

My client is not currently seeking to vary the planning permission. Rather, to address your representation to my client's premises licence application, my client is happy to amend the conditions on their licence application to ensure that the planning hours are reflected on the premises licence.

As you will be aware, this premises will primarily be used as a hotel, with restaurant, bar and entertainment facilities open to the general public on the ground floor. The following planning condition referred to in your representation relates to the ground floor restaurant and bar facilities:

"07 No Customers shall be on the premises between the hours of 00.30 hours and 09.00 hours on Tuesday to Sunday inclusive nor between the hours of midnight Sunday and 9.00 hours on Monday."

The premises licence application seeks unrestricted opening hours because hotel residents will need to have access to their rooms 24 hours a day. However, my client has already included the following condition on the premises licence application in order to restrict the hours that the general public can access the ground floor bar and restaurant areas:

28. In relation to the ground floor restaurant and bar areas there shall be no new admission after 0000 hours (midnight), other than to residents of the hotel and their bona fide guests or persons attending a pre-booked private function. All members of the general public (other than residents of the hotel and their bona fide guests or patrons attending a pre-booked private function) shall be off the premises by 0100 hours.

In light of your representation and the condition on the planning permission referred to above, my client would be happy to amend this proposed premises licence condition to read as follows:-

28. In relation to the ground floor restaurant and bar areas there shall be no new admission after 0000 hours (midnight), other than to residents of the hotel and their bona fide guests or persons attending a pre-booked private function. All members of the general public (other than residents of the hotel and their bona fide guests or patrons attending a pre-booked private function) shall be off the premises by 0030 hours the following day on Mondays to Saturdays and by 0000 hours (midnight) on Sundays.

Please could you confirm whether you would be happy to withdraw your representation on the basis of this amended condition that would reflect the hours under the planning permission? If so, I will notify the Licensing Authority of the amended condition and ask you to notify them that your representation is withdrawn.

I attach a full list of the proposed premises licence conditions for your information.

I look forward to hearing from you.

Kind regards,

David

David Inzani |Solicitor
Poppleston Allen

From: Carleton James: H&F

Sent: 03 May 2022 17:26

To: David Inzani

Subject: RE: Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Dear David Inzani,

is there anything specific you want to discuss? I cannot give out free planning advice. If you want planning advice in relation to varying the opening hours, the council offers pre application advice service.

[Planning advice | LBHF](#)

Planning permission was granted for the

“Change of use of the existing cinema hall into a restaurant and bar with stage facility for live entertainment with associated ancillary office accommodation together with external alterations to provide new window openings in the South elevation and a new entrance arch in the East elevation.”

Condition 7 was imposed as follows,

No Customers shall be on the premises between the hours of 00.30 hours and 09.00 hours on Tuesday to Sunday inclusive nor between the hours of midnight Sunday and 9.00 hours on Monday.

A number of variation application were submitted between 1994 and 2011, (1994/01158/VAR, 2004/00742/FUL, 2011/00105/VAR, proposing to extend these opening hours. All were refused. I attach the decision notice of the most recent application.

Kind regards,

James Carleton
Principal Planning Enforcement Officer
Development Management – Enforcement Team
The Economy Department
Hammersmith and Fulham Council

From: David Inzani
Sent: 03 May 2022 14:50
To: Carleton James: H&F
Cc: Dimitriou Maria: H&F ; Licensing HF: H&F
Subject: RE: Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Dear James,

Further to my email of 22 April below and the above premises licence application, please could you let me know a convenient time for us to discuss your representation on behalf of Planning Enforcement ?

I am available all week. Please let me know a convenient time for me to call and the best number to reach you on. Alternatively, please feel free to give me a call on 07943 097 660.

Best regards,

David

From: David Inzani
Sent: 22 April 2022 11:10
To: James Carleton
Subject: Dao by Dorsett West London, 56 Shepherd's Bush Green - Premises Licence Application

Dear James,

I hope this email finds you well.

Further to my email on 6th April, I act for the Dorsett Hotel Group on the above premises licence application and I am in receipt of your representation on behalf of Planning Enforcement.

I would be very grateful if we could have a call to discuss your representation. Please let me know your availability today or early next week.

Many thanks,

David

From: BT Chris Noonan
Sent: 25 April 2022 14:18
To:
Cc: Umeh Mercy (redirect); Dimitriou Maria: H&F
Subject: FW: Dao by Dorsett West London Walkabout Inn 56 Shepherd's Bush Green London W12 8QE

25 April 2022

Hi All

I note the lawyers for Palladium/Dorsett are repeating their request/suggestion for a “conciliation meeting” on the subject of their alcohol and entertainment licence application for the Palladium *remodelled former Walkabout) complex. ie w of the

When this matter was first raised earlier in April, in view of the strength of local feeling on our objections to the terms of the Licence Application by Dorsett, and with our several decades’ negative history with former licensed operators at that same location, we declined the invitation for such a meeting – preferring to leave the matter to adjudication at for forthcoming LBHF Licensing Committee hearing.

Unless local views have changed, I will adhere to that position.

Chris
Chris Noonan

From: David Inzani
Sent: 22 April 2022 12:08
To: Dimitriou Maria: H&F
Cc: Licensing HF: H&F
Subject: RE: Dao by Dorsett West London Walkabout Inn 56 Shepherd's Bush Green London W12 8QE

Dear Maria,

I hope you are well.

Have you received any response from Mr Noonan or Councillor Umeh to my correspondence on 6th April? If not, please could you forward the following further invitation, as my client is keen to discuss and address the concerns raised in their representations:

Dear Mr Noonan and Councillor Umeh,

Further to my previous correspondence, you will be aware that the Licensing Sub-Committee hearing for my client's premises Dao by Dorsett West London at 56 Shepherd's Bush Green has been adjourned.

This grants us time to address your representations and my client would be very grateful for the opportunity to meet with you.

We would be happy to host the meeting in person at The Dorsett Hotel Shepherd's Bush. Alternatively, we can arrange for a remote meeting via Microsoft Teams if it would be more convenient.

Please contact me with your availability for the weeks commencing 25th April and 2nd May and I will set this up with my client.

My contact details are as follows: email: David Inzani D.Inzani@popall.co.uk / mobile number: 07943 097660.

I look forward to hearing from you.

Kind regards,

David

David Inzani |Solicitor
Poppleston Allen

From: David Inzani
Sent: 06 April 2022 14:37
To: Dimitriou Maria: H&F
Cc: Layug Karen: H&F; Licensing HF: H&F
Subject: Dao by Dorsett West London Walkabout Inn 56 Shepherd's Bush Green London W12 8QE

Dear Maria,

I would be very grateful if you could forward the following to Councillor Umeh and Mr Noonan / the Greenside Residents Action Group, who have objected to this application:-

Dear Mr Noonan and Councillor Umeh,

I act for the Dorsett Hotel Group on licensing matters and I am in receipt of your representations regarding the new premises licence application for Dao by Dorsett West London, Shepherd's Bush Green.

My client and I would like the opportunity to meet with you to discuss your representations. Unfortunately, my client and I are unavailable until 19th April and therefore you will have seen that we are requesting an adjournment of the hearing (which is currently scheduled for 21st April). Provided the Licensing Authority agree to the adjournment, would like to meet with you in the week commencing 25th April at my client's premises, The Dorsett Hotel Shepherd's Bush, next door to the new aparthotel that we have applied to licence.

If you would like to meet, then please contact me with your availability for the week commencing 25th April and I will arrange this with my client.

My contact details are as follows: email: David Inzani D.Inzani@popall.co.uk / mobile number: 07943 097660.

I look forward to hearing from you.

Kind regards.

David

David Inzani |Solicitor
Poppleston Allen

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Agenda Item 4

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APPENDICES

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1. THE APPLICATION

On the 07 April 2022, Mr Frazer Timmerman (“the applicant”) submitted an application to vary the premises licence in respect of premises known as The Hawks Nest, located at 190 Railway Arches Shepherd's Bush Market London W12 8DF.

1.1 Current Hours of Operation

The premises currently benefit from a premises licence. The current premises licence permits the following:

Performance of Live Music -Both Indoors and Outdoors

| | |
|------------------|--------------------------|
| Monday to Sunday | 23:00 - 00:00 (Indoors) |
| Monday to Sunday | 12:00 - 22:30 (Outdoors) |

Playing of Recorded Music -Both Indoors and Outdoors

| | |
|------------------|--------------------------|
| Monday to Sunday | 23:00 - 00:00 (Indoors) |
| Monday to Sunday | 12:00 - 22:30 (Outdoors) |

Sale of Alcohol On the Premises

| | |
|------------------|-------------------------------------|
| Monday to Sunday | 12:00 - 00:00 (Indoors Archway 190) |
| Monday to Sunday | 12:00 - 22:00 (Outdoor Area) |

The opening hours of the premises

| | |
|------------------|-------------------------------------|
| Monday to Sunday | 12:00 - 00:30 (Indoors Archway 190) |
| Monday to Sunday | 12:00 - 22:30 (Outdoor Area) |

A copy of the current premises licence and plan can be seen on pages 69-80 of this report.

1.2 Application Requested

The applicant has applied to vary the hours for the sale of alcohol, recorded music and live music in the outdoor area as well as remove and replace conditions. Based on the application form, the applicant has stated that the current outside area will be covered by an acoustic roof at 22:00.

The proposed days and times are as follows:

Performance of Live Music

| | |
|--------------------|--------------------------|
| Monday to Saturday | 23:00 - 00:00 (Outdoors) |
|--------------------|--------------------------|

Playing of Recorded Music

| | |
|--------------------|--------------------------|
| Monday to Saturday | 23:00 - 00:00 (Outdoors) |
|--------------------|--------------------------|

Sale of Alcohol – Both On and Off the Premises

| | |
|--------------------|------------------------------|
| Monday to Saturday | 12:00 - 00:00 (Outdoor Area) |
| Sunday | 12:00 - 22:30 (Outdoor Area) |

The opening hours of the premises

Monday to Saturday

12:00 - 00:30 (Outdoor Area)

Sunday

12:00 – 22:30 (Outdoor Area)

The licensee wishes to remove the following condition:

18. Children shall not be permitted after 19:00 and they must be accompanied by an adult if visiting the Premises prior to this point.

The licensee wishes to replace the following conditions:

20. After 22:30 where customers are permitted to temporary leave e.g. to smoke and then re-enter the premises, shall not be permitted to take drinks or glass containers with them.

21. After 22:30 customers who are smoking shall be contained within the area outside the archway bar and either a member of the management team or an SIA door supervisor shall monitor the noise levels of customers smoking or leaving the venue.

With:

20. The retractable roof over the seating area outside must be closed no later than 22:00 each day.

21. When the roof is closed customers who wish to smoke shall do so in the area between the premises and the gates on Goldhawk Road. Customers shall not be permitted to consume alcohol in that area. Noise levels of those in the smoking area shall be monitored by a member of staff.

No other changes to the permitted hours, activities or conditions are sought or implied.

A copy of the application form can be seen on pages 81-95 of this report.

1.3 Applicants Operating Schedule

The applicant has proposed a number of steps to promote the four licensing objectives if the application is granted. A copy of these steps can be seen on page 92 of this report.

2. BACKGROUND

The main access to the premise's unit is located on Goldhawk Road. There is a mixture of both residential and commercial premises within the area. A map showing the location of the premises and neighbouring licensed premises can be seen on pages 96-97 of this report.

There are several options for transport away from the area including buses and taxis which run from in and around the Shepherd's Bush Market area. Goldhawk Road tube station is a 2-minute walk away and Shepherd's Bush Market tube station is a 5-minute walk away.

3. CONSULTATION

A public notice was displayed at the premises for 28 days. The application was advertised in a local circular and all statutory consultees were notified as required by the Regulations. The Council has served written notice of hearing upon the applicant and all those parties that have made representations in respect of the application.

3.1. Relevant Representations

The licensing section received one representation from the Greenside Residents Action Group objecting to the licence variation application. A copy of this representation can be seen on pages 98-101 of this report.

The licensing section received four representations from local residents objecting to the licence variation application. A copy of these representations can be seen on pages 102-106 of this report.

On the 12th May 2022 the applicant's licensing solicitor requested for a letter to be forwarded to all objectors to invite residents along to a meeting in order to discuss any concerns raised. A copy of this letter and the objector's response can be seen on pages 109-111 of this report.

4. OTHER INFORMATION

4.1 Enforcement History

On 25 September 2020 an inspection sheet was left at the premises as a warning letter following breaches of licence conditions ascertained during full licensing inspection undertaken at the premises.

4.2 Temporary Event Notices ("TENs")

A number of TENs have been submitted in respect of this premises in the past twelve months. A list of these TENs can be seen on pages 107-108 of this report.

5. POLICY CONSIDERATIONS

5.1 Section 5.1 page 12 of the Statement of Licensing Policy ("SLP") states that where there is a relevant representation, the Licensing Authority will consider each particular case on its merits having regard in particular to the following matters:

- Whether the licensed activities are likely to have an adverse impact especially on local residents and, if there is potential to have an adverse impact, what, if any, appropriate measures will be put in place to prevent it;
- Whether there will be a substantial increase in the cumulative adverse impact from these or similar activities, on an adjacent residential area;
- Whether there is a suitable level of public transport accessibility to and from the premises at the appropriate times;

- Whether the activity will be likely to lead to a harmful and unmanageable increase in car parking demand in surrounding residential streets suffering high levels of parking stress or on roads forming part of the Strategic London Road Network or the London Bus Priority Network leading to a negative impact on the Licensing Objectives relating to the prevention of crime, disorder and nuisance; and
- Whether there have been any representations made by Responsible Authorities, or other relevant agency or representative.

5.2 Section 8.1 page 15 of the SLP states that the Licensing Authority will require applicants to detail in their operating schedule the steps proposed to ensure the deterrence and prevention of crime and disorder on, and in the vicinity of, the premises, having regard to their location, character, condition, the nature and extent of the proposed use and the persons likely to use the premises.

5.3 Section 8.10 page 16 of the SLP states that it is important that staff working at off licences are suitably trained and receive appropriate refresher training in their responsibilities under the Act and can discharge their duties in full compliance with the licence conditions and requirements of the Act. This includes the ability to competently check a customer's age with acceptable forms of identification where necessary. The Licensing Authority will particularly consider the following matters where they are material to the individual application:

- The likelihood of any violence, public order or policing problem if the licence is granted;
- The measures taken to control admission to the premises, and to take reasonable steps to prevent the occurrence of crime and disorder and public nuisance immediately outside the premises, where and to the extent that these matters are within their control.
- Past conduct and prior history of complaints against the premises;
- Whether a dispersal policy has been prepared to minimise the potential for disorder as customers leave the premises; and
- Any relevant representations.

5.4 Section 9.6 page 18 of the SLP states that the Licensing Authority will, where appropriate, attach conditions to a licence to ensure public safety, dealing with, but not limited to. the following:

- The number of people on the premises to ensure it is appropriate having regard to the activities taking place and reliable ways of counting the number;
- The steps taken to manage the risk from glass, the use of bottle bins, glass collectors and door supervisors to prevent glass being taken off the premises;
- The use of door supervisors to manage the entrance and exit from the premises and to protect public safety as customers leave the premises; and
- The provision of air conditioning and ventilation.

5.5 Section 10.3 page 19 and 20 of the SLP states that the Licensing Authority will particularly consider the following matters where they are material to the individual application:

- One of the most common complaints the Licensing Authority receive is about nuisance caused by customers as they leave licensed premises at night. The Licensing Authority recommends that primarily alcohol led premises such as

nightclubs and pubs, located close to any residential premises, implement a dispersal policy at their venue. All relevant staff should be trained on any policy, and all reasonable steps should be taken to ensure it is fully implemented and adhered to at all times.

- The proximity of residential accommodation;
- The type of use proposed, including the likely numbers of customers, proposed hours of operation and the frequency of activity;
- The steps taken or proposed to be taken by the applicant to prevent noise and vibration escaping from the premises, including music, noise from ventilation equipment, and human voices. Such measures may include the installation of soundproofing, air conditioning, acoustic lobbies and sound limitation devices;
- The steps taken or proposed to be taken by the applicant to prevent disturbance by customers arriving at or leaving the premises. This will usually be of greater importance late at night and/or in the early hours of the morning. However nuisance can arise at any time of the day or night so the Licensing Authority will consider representations from Responsible Authorities and/or Interested Parties relating to potential nuisance from any activity at all times dependant on the merits of the application/steps taken or proposed to prevent nuisance.
- Limiting the number of people permitted to use a garden/other open-air areas, including those for the use of smoking, at any one time.
- Restricting the use of a garden/other open-air areas, including those for the use of smoking, after a particular time e.g. 11:00pm (or such earlier time as may be considered appropriate).
- The steps taken or proposed to be taken by the applicant to prevent queuing (either by pedestrian or vehicular traffic). If some queuing is inevitable then queues should be diverted away from neighbouring premises or be otherwise managed to prevent disturbance or obstruction;
- The steps taken or proposed to be taken by the applicant to ensure staff leave the premises quietly;
- The arrangements made or proposed for parking by patrons, and the effect of parking by patrons on local residents;
- The provision for public transport in the locality (including taxis and private hire vehicles) for patrons;
- The level of likely disturbance from associated vehicular and pedestrian movement to and from the premises;
- The delivery and collection areas and delivery/collection times;
- The siting of external lighting, including security lighting that is installed inappropriately;
- The arrangements for refuse disposal, storage and the prevention/tidying of litter (including fly posters and illegal placards);
- The history of previous nuisance complaints proved against the premises, particularly where statutory notices have been served on the present licence holder;
- The history of the applicant in controlling anti-social behaviour and preventing nuisance;
- The generation of odour, e.g. from the preparation of food;
- Any other relevant activity likely to give rise to nuisance;
- Any representations made by the Police, or other relevant agency or representative;

6. DETERMINATION

6.1 In determining this application, the Committee must have regard to the representations and take such of the following steps as it considers necessary for the promotion of the licensing objectives. The steps are:

- (a) Grant the application in full
- (b) Grant the application in part – modifying the proposed hours, activities or conditions.
- (c) Reject the application

It is the Council's duty under the Licensing Act 2003 ("The Act") to determine applications with a view to promoting the four licensing objectives; Prevention of Crime and Disorder, Public Safety, Prevention of Public Nuisance and the Protection of Children from Harm.

In reaching a decision the Council shall consider the details of any relevant representations received; the applicant's Operating Schedule; the Council's adopted Statement of Licensing Policy and the guidance issued by the Secretary of State under section 182 of the Act.

If the Committee is minded to grant the application conditions may be attached to the licence to alleviate the concerns raised through the representations.

Licensing Act 2003

Premises Licence



Premises Licence Number: 2019/02017/LAPR

Part 1 – Premises details

Postal address of premises, or if none, OS map reference or description of the premises

The Hawks Nest
190 Railway Arches
Shepherd's Bush Market

Post town: London

Post code: W12 8DF

Telephone: 075 9044 0222

Where the licence is time limited the dates:

Not Applicable

Licensable activities authorised by the licence:

Performance of Live Music -Both Indoors and Outdoors
Playing of Recorded Music -Both Indoors and Outdoors
Sale of Alcohol On the Premises -Both Indoors and Outdoors

The licence authorises the carrying out of the following licensable activities on the days and at the times specified below:

Performance of Live Music -Both Indoors and Outdoors
Monday to Sunday 23:00 - 00:00 (Indoors)
Monday to Sunday 12:00 - 22:30 (Outdoors)

Playing of Recorded Music -Both Indoors and Outdoors
Monday to Sunday 23:00 - 00:00 (Indoors)
Monday to Sunday 12:00 - 22:30 (Outdoors)

Sale of Alcohol On the Premises
Monday to Sunday 12:00 - 00:00 (Indoors Archway 190)
Monday to Sunday 12:00 - 22:00 (Outdoors Outdoor Area)

The opening hours of the premises:

Monday to Sunday 12:00 - 00:30 (Archway 190)
Monday to Sunday 12:00 - 22:30 (Outdoor Area)

Where the licence authorises supplies of alcohol whether these are on and/or off supplies:

On the premises only

Part 2

Name, (registered) address, telephone number and email (where relevant) of holder of premises licence:

Mr Frazer Timmerman

Registered number of holder, for example company number, charity number (where applicable):

Not Applicable

Name, address and telephone number of designated premises supervisor where the premises licence authorises the supply of alcohol:

Mr Frazer Timmerman

**Licensing Authority
Personal Licence No**

Annex 1 – Mandatory Conditions

1. Mandatory Condition

(1) The responsible person must ensure that staff on relevant premises do not carry out, arrange or participate in any irresponsible promotions in relation to the premises.

(2) In this paragraph, an irresponsible promotion means any one or more of the following activities, or substantially similar activities, carried on for the purpose of encouraging the sale or supply of alcohol for consumption on the premises—

(a) games or other activities which require or encourage, or are designed to require or encourage, individuals to—

(i) drink a quantity of alcohol within a time limit (other than to drink alcohol sold or supplied on the premises before the cessation of the period in which the responsible person is authorised to sell or supply alcohol), or

(ii) drink as much alcohol as possible (whether within a time limit or otherwise);

(b) provision of unlimited or unspecified quantities of alcohol free or for a fixed or

discounted fee to the public or to a group defined by a particular characteristic in a manner which carries a significant risk of undermining a licensing objective;

(c) provision of free or discounted alcohol or any other thing as a prize to encourage or reward the purchase and consumption of alcohol over a period of 24 hours or less in a manner which carries a significant risk of undermining a licensing objective;

(d) selling or supplying alcohol in association with promotional posters or flyers on, or in the vicinity of, the premises which can reasonably be considered to condone, encourage or glamorise anti-social behaviour or to refer to the effects of drunkenness in any favourable manner;

(e) dispensing alcohol directly by one person into the mouth of another (other than where that other person is unable to drink without assistance by reason of disability).

2. Mandatory Condition

The responsible person shall ensure that free potable water is provided on request to customers where it is reasonably available.

3. Mandatory Condition

1) The premises licence holder or club premises certificate holder must ensure that an age verification policy is adopted in respect of the premises in relation to the sale or supply of alcohol.

(2) The designated premises supervisor in relation to the premises licence must ensure that the supply of alcohol at the premises is carried on in accordance with the age verification policy.

(3) The policy must require individuals who appear to the responsible person to be under 18 years of age (or such older age as may be specified in the policy) to produce on request, before being served alcohol, identification bearing their photograph, date of birth and either—

- (a) a holographic mark, or
- (b) an ultraviolet feature.

4. Mandatory Condition

The responsible person must ensure that—

(a) where any of the following alcoholic drinks is sold or supplied for consumption on the premises (other than alcoholic drinks sold or supplied having been made up in advance ready for sale or supply in a securely closed container) it is available to customers in the following measures—

- (i) beer or cider: ½ pint;
- (ii) gin, rum, vodka or whisky: 25 ml or 35 ml; and
- (iii) still wine in a glass: 125 ml;

(b) these measures are displayed in a menu, price list or other printed material which is available to customers on the premises; and

(c) where a customer does not in relation to a sale of alcohol specify the quantity of alcohol to be sold, the customer is made aware that these measures are available.

5. Mandatory Condition

1. A relevant person shall ensure that no alcohol is sold or supplied for consumption on or off the premises for a price which is less than the permitted price.

2. For the purposes of the condition set out in paragraph 1—

(a) "duty" is to be construed in accordance with the Alcoholic Liquor Duties Act 1979;

(b) "permitted price" is the price found by applying the formula—

$$P = D + (D \times V) \text{ Where—}$$

(i) P is the permitted price,

(ii) D is the amount of duty chargeable in relation to the alcohol as if the duty were charged on the date of the sale or supply of the alcohol, and

(iii) V is the rate of value added tax chargeable in relation to the alcohol as if the value added tax were charged on the date of the sale or supply of the alcohol;

(c) "relevant person" means, in relation to premises in respect of which there is in force a premises licence—

(i) the holder of the premises licence,

(ii) the designated premises supervisor (if any) in respect of such a licence, or

(iii) the personal licence holder who makes or authorises a supply of alcohol under such a licence;

(d) "relevant person" means, in relation to premises in respect of which there is in force a club premises certificate, any member or officer of the club present on the premises in a capacity which enables the member or officer to prevent the supply in question; and

(e) "value added tax" means value added tax charged in accordance with the Value Added Tax Act 1994.

3. Where the permitted price given by Paragraph (b) of paragraph 2 would (apart from this paragraph) not be a whole number of pennies, the price given by that sub-paragraph shall be taken to be the price actually given by that sub-paragraph rounded up to the nearest penny.

4.(1) Sub-paragraph (2) applies where the permitted price given by Paragraph (b) of paragraph 2 on a day ("the first day") would be different from the permitted price on the next day ("the second day") as a result of a change to the rate of duty or value added tax.

(2) The permitted price which would apply on the first day applies to sales or supplies of alcohol which take place before the expiry of the period of 14 days beginning on the second day.

6. Mandatory Condition

(1) No supply of alcohol may be made under the premises licence-

(a) at a time when there is no designated premises supervisor in respect of the premises licence, or

(b) at a time when the designated premises supervisor does not hold a personal licence or his personal licence is suspended.

(2) Every supply of alcohol under the premises licence must be made or authorised

by a person who holds a personal licence.

7. Mandatory Condition

Where this licence includes a condition that at specified times one or more individuals must be at the premises to carry out a security activity, each individual must be licensed by the Security Industry Authority, with the following exceptions:

- a) premises where the premises licence authorises plays or films
- b) any occasion mentioned in paragraph 8(3)(b) or (c) of Schedule 2 to the Private Security Industry Act 2001 (premises being used exclusively by a club with a club premises certificate, under a temporary event notice authorising plays or films or under a gaming licence), or
- c) any occasion within paragraph 8(3)(d) of Schedule 2 to the Private Security Industry Act 2001.

Annex 2 – Conditions consistent with the operating Schedule

8. Where the premises are let to individuals or groups for private hire, a named person shall be responsible for ensuring that conditions on the Premises Licence are adhered to. This person shall provide their details to the Licence Holder or DPS in writing in advance of the event and their details shall be retained for a period of at least 31 days after the event.

9. A daily incident log shall be kept at the Premises and made available on request to an authorised officer of the Council or the Police or the Fire services which shall record the following:- all crimes reported to the venue, all ejection of patrons, any complaints received, any incidents of disorder, seizures of drugs or offensive weapons, any refusal of sale of alcohol and any visit by a relevant authority or emergency service, any faults in the CCTV system.

10. The premises shall operate a zero tolerance policy to drug use and posters shall be prominently displayed to this effect.

11. High Definition CCTV shall be installed, operated and maintained, at all times that the premises is open for licensable activities and;

- a) shall be checked every two weeks to ensure that the system is working properly and that the date and time are correct. A record of these checks, showing the date and name of the person checking, shall be kept and made available to Police or authorised Council officers on request;
- b) one camera shall show a close-up of the entrance to the premises, to capture a clear, full length image of anyone entering;
- c) shall cover any internal or external area of the premises where licensable activities take place;
- d) recordings shall be in real time and stored for a minimum period of 31 days with date and time stamping;
- e) footage shall be provided free of charge to Police or authorised council officer within 24 hours of a request; and
- f) a staff member from the premises that is conversant with the operation of the CCTV system shall be on the premises at all times the premises is open for licensable activities. This staff member shall be able to show police or authorised officers of the Licensing Authority recent data footage with the minimum of delay when requested.

This data or footage reproduction shall be almost instantaneous.

12. Policy and procedures for door staff shall be in place around dispersal techniques for customers and procedures for dealing with incidents that occur in or around the vicinity of the premises. These shall be provided to the police and authorised officers of the Licensing Authority upon request.

13. Signs shall be prominently displayed in the outside area reminding patrons there are residents living nearby and instructing them to respect the neighbours and to conduct their behaviour accordingly.

14. Signs shall be prominently displayed at the exits from the premises asking patrons to dispose of their waste in litter bins.

15. Waste bottles or other glass shall not be disposed of or transported in bulk through any external area between the hours of 22:00 and 08:00 the following day.

16. Where customers are permitted to drink alcohol outside regular litter and glass collection shall be carried out in all areas where customers are congregating.

17. The Premises shall operate a Challenge 25 age restricted sales policy and shall display appropriate signage advising customers of this policy.

18. Children shall not be permitted after 19:00 and they must be accompanied by an adult if visiting the Premises prior to this point.

19. There shall be a minimum of one personal licence holder on duty on the premises at all times when the premises are authorised to sell alcohol.

20. After 22:30 where customers are permitted to temporary leave e.g. to smoke and then re-enter the premises, shall not be permitted to take drinks or glass containers with them.

21. After 22:30 customers who are smoking shall be contained within the area outside the archway bar and either a member of the management team or an SIA door supervisor shall monitor the noise levels of customers smoking or leaving the venue.

22. The premises shall employ SIA Registered Door Supervisors on Fridays and Saturdays from at least 8pm until the premises has closed and all patrons have left the premises and immediate area. The number of door supervisors shall be in accordance with the following ratios: 0-75 (Minimum of 1), 75-225 (Minimum of 2). The premises shall risk assess the need for door supervisors on any other day. This risk assessment shall be in writing and made available to Police or Licensing Authority officers upon request.

23. When door supervisors are on duty 'Clickers' or other recognised counting devices shall be used. An accurate log of patron numbers shall be maintained by door supervisors.

24. The Licence Holder/Designated Premises Supervisor shall organise and

accommodate meetings to discuss the operation of the premises with residents at least two times per calendar year. The meeting shall be advertised at least 14 days before its due date by letter to residents and residents' associations in the locality as well as to the Licensing Authority.

25. Management shall actively monitor noise levels to avoid disturbing neighbours and surrounding areas and restrict noise to a minimum after 22:00.

26. Ambient music shall be played at a low volume in the outdoor area.

27. The sound system shall be designed to minimise noise breakout by directing sound inwards other than outwards and capping the maximum volume possible.

28. All deliveries shall arrive and leave via a dedicated delivery point at the front of the venue entrance on Goldhawk Road.

29. Deliveries shall not take place prior to 08:00 or after 22:00 to prevent disturbing local residents.

Annex 3 Conditions attached after a hearing by the licensing authority

30. Where customers are permitted to smoke immediately outside the premises, smoking bins/ashtrays/receptacles shall be provided.

31. Signage shall be prominently displayed advising customers that drinks or glass containers are not permitted to be taken away from the premises, outside the licensed area.

32. At least one member of staff on duty whilst this licence is being used shall be trained in the requirements of the Licensing Act 2003 in terms of the licensing objectives, offences committed under the Act and conditions of the Premises Licence. All members of staff shall have training in age restricted sales including regular refresher training. Written records of this training shall be retained and made available to police and authorised officers of the Licensing Authority on request.

33. All staff shall be trained in how to identify drunk or drug impaired customers. This training shall be repeated at least biannually and written records of the training kept and made available to police and authorised officers of the Licensing Authority on request.

34. All staff shall be trained in how to manage a crime scene and crime scene preservation. This training shall be repeated at least once a year and written records of the training kept on the premise and made available to Police and authorised officers of the Licensing Authority on request.

35. A record of complaints shall be maintained on the premises to record details of any complaints received. The information to be recorded shall include the date and time of complaint and subsequent remedial action undertaken and (where disclosed) the complainant's name and location.

36. The record of complaints shall be kept for 12 months from the date of the last

record made and shall be available for inspection on demand by the police or an authorised officer of the Licensing Authority at all times the premises are open.

37. A telephone number for the premises, or a responsible member of staff on duty, shall be displayed so that it is visible from the public highway for members of the public to lodge complaints.

38. No smells generated from the cooking processes at the Premises, shall give rise to nuisance to occupiers of neighbouring properties.

39. A written record of proactive external noise assessments and, where applicable, remedial actions taken shall be kept for a minimum of 31 days from the date of the last entry in the record and this record shall be available for inspection on demand by authorised council officers at all times the premises are open.

40. A responsible member of staff shall carry out proactive litter patrols outside the premises at least twice throughout the premises' opening hours and specifically at the end of trading hours to ensure that there is no litter associated with the premises in the immediate vicinity and any such litter found shall be collected and returned to the premises for disposal with the premises' normal waste/refuse collection.

41. A written record of proactive external litter patrols shall be kept for a minimum of 31 days from the date of the last entry in the record and this record shall be available for inspection on request by authorised officers of the Licensing Authority at all times the premises are open.

42. A check of anybody who appears to be under the age of 25 years shall be made by examining either a passport, photographic driving licence, PASS approved proof of age card, current UK armed forces ID card or any other ID recognised by the Council's statement of licensing policy. No other forms of ID shall be accepted.

43. Posters shall be displayed in prominent positions around the premises advising customers of the Proof of Age policy in force at the premises.

Signed: 
Authorised Officer

Date: 11.03.2020

Annex 4- Plans:

Please insert plan at page 9

Licensing Act 2003

Premises Licence



Premises Licence Summary

Premises Licence Number: 2019/02017/LAPR

Premises details

Postal address of premises, or if none, OS map reference or description of the premises

The Hawks Nest
190 Railway Arches
Shepherd's Bush Market

Post town: London

Post code: W12 8DF

Telephone: 075 9044 0222

Where the licence is time limited the dates:

Not Applicable

Licensable activities authorised by the licence:

Performance of Live Music -Both Indoors and Outdoors
Playing of Recorded Music -Both Indoors and Outdoors
Sale of Alcohol On the Premises -Both Indoors and Outdoors

The licence authorises the carrying out of the following licensable activities on the days and at the times specified below:

Performance of Live Music -Both Indoors and Outdoors
Monday to Sunday 23:00 - 00:00 (Indoors)
Monday to Sunday 12:00 - 22:30 (Outdoors)

Playing of Recorded Music -Both Indoors and Outdoors
Monday to Sunday 23:00 - 00:00 (Indoors)
Monday to Sunday 12:00 - 22:30 (Outdoors)

Sale of Alcohol On the Premises -
Monday to Sunday 12:00 - 00:00 - Archway 190 (Indoors)
Monday to Sunday 12:00 - 22:00 (Outdoors Outdoor Area)

The opening hours of the premises:

Monday to Sunday 12:00 - 00:30 (Archway 190)
Monday to Sunday 12:00 - 22:30 (Outdoor Area)

Where the licence authorises supplies of alcohol whether these are on and/or off supplies:

On the premises only

Name, (registered) address, of holder of premises licence:

Mr Frazer Timmerman



Registered number of holder, for example company number, charity number (where applicable):

Not Applicable

Name of designated premises supervisor where the premises licence authorises the supply of alcohol:

Mr Frazer Timmerman

State whether access to the premises by children is restricted or prohibited:

See Annex 2

Signed: 
Authorised Officer

Date: 11.03.2020

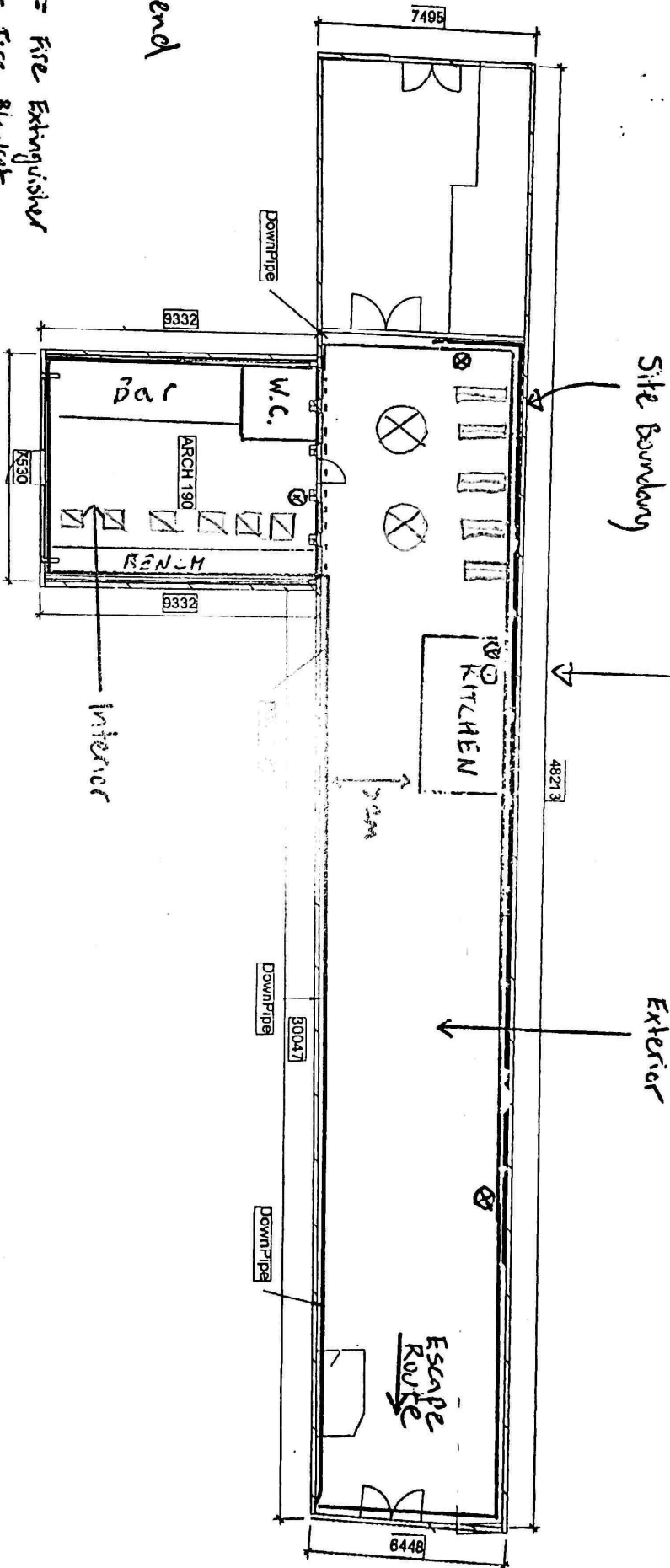
The Hawks Nest
 Arch 190 + Market yard
 Shepherd's Bush, London
 W12 8DA

Main Entrance and Exit

- ⊗ = Fire Extinguisher
- ⊙ = Fire Blanket

Supply of alcohol throughout the venue but main area of sale labelled 'Bar'

- ⊗ = Barrel
- ▣ = Small '2 Top' Table
- ▩ = Bench w/ Table



Legend

* required information

Section 1 of 18

You can save the form at any time and resume it later. You do not need to be logged in when you resume.

System reference

Not Currently In Use

This is the unique reference for this application generated by the system.

Your reference

JW/Hawks Nest

You can put what you want here to help you track applications if you make lots of them. It is passed to the authority.

Are you an agent acting on behalf of the applicant?

- Yes No

Put "no" if you are applying on your own behalf or on behalf of a business you own or work for.

Applicant Details

* First name

Frazer

* Family name

Timmerman

* E-mail



Main telephone number



Include country code.

Other telephone number

- Indicate here if the applicant would prefer not to be contacted by telephone

Is the applicant:

- Applying as a business or organisation, including as a sole trader
 Applying as an individual

A sole trader is a business owned by one person without any special legal structure. Applying as an individual means the applicant is applying so the applicant can be employed, or for some other personal reason, such as following a hobby.

Continued from previous page...

Address

* Building number or name

* Street

District

* City or town

County or administrative area

* Postcode

* Country

Agent Details

* First name

* Family name

* E-mail

Main telephone number

Other telephone number

Include country code.

Indicate here if you would prefer not to be contacted by telephone

Are you:

- An agent that is a business or organisation, including a sole trader
- A private individual acting as an agent

A sole trader is a business owned by one person without any special legal structure.

Agent Business

Is your business registered in the UK with Companies House? Yes No

Note: completing the Applicant Business section is optional in this form.

Is your business registered outside the UK? Yes No

Business name

VAT number

Legal status

Your position in the business

Home country

If your business is registered, use its registered name.

Put "none" if you are not registered for VAT.

The country where the headquarters of your business is located.

Continued from previous page...

Agent Business Address

If you have one, this should be your official address - that is an address required of you by law for receiving communications.

| | |
|-------------------------------|-------------------------|
| Building number or name | John Gaunt & Partners |
| Street | Haslar Marine Tech Park |
| District | Haslar Road |
| City or town | Gosport |
| County or administrative area | |
| Postcode | PO12 2DS |
| Country | United Kingdom |

Section 2 of 18

APPLICATION DETAILS

This application cannot be used to vary the licence so as to extend the period for which the licence has effect or to vary substantially the premises to which it relates. If you wish to make that type of change to the premises licence, you should make a new premises licence application under section 17 of the Licensing Act 2003.

I/we, as named in section 1, being the premises licence holder, apply to vary a premises licence under section 34 of the Licensing Act 2003 for the premises described in section 2 below.

* Premises Licence Number

Are you able to provide a postal address, OS map reference or description of the premises?

- Address OS map reference Description

Postal Address Of Premises

| | |
|-------------------------------|-----------------------|
| Building number or name | Hawks Nest |
| Street | 190 Railway Arch |
| District | Shepherds Bush Market |
| City or town | London |
| County or administrative area | |
| Postcode | W12 8DF |
| Country | United Kingdom |

Premises Contact Details

| | |
|---|----------------------|
| Telephone number | <input type="text"/> |
| Non-domestic rateable value of premises (£) | 10,750 |

Section 3 of 18

VARIATION

Continued from previous page...

Do you want the proposed variation to have effect as soon as possible?

- Yes
- No

Do you want the proposed variation to have effect in relation to the introduction of the late night levy?

- Yes
- No

You do not have to pay a fee if the only purpose of the variation for which you are applying is to avoid becoming liable to the late night levy.

If your proposed variation would mean that 5,000 or more people are expected to attend the premises at any one time, state the number expected to attend

Describe Briefly The Nature Of The Proposed Variation

Describe the premises. For example the type of premises, its general situation and layout and any other information which could be relevant to the licensing objectives. Where your application includes off-supplies of alcohol and you intend to provide a place for consumption of these off-supplies, you must include a description of where the place will be and its proximity to the premises.

To vary the hours for the sale of alcohol, recorded music and live music in the outdoor area until midnight given the addition of an acoustic roof being installed at the premises. Revision of conditions relating to the "outside" area which will now be enclosed by the roof after 2200. Removal of the condition prohibiting children being at the venue at 1900.

Section 4 of 18

PROVISION OF PLAYS

[See guidance on regulated entertainment](#)

Will the schedule to provide plays be subject to change if this application to vary is successful?

- Yes
- No

Section 5 of 18

PROVISION OF FILMS

[See guidance on regulated entertainment](#)

Will the schedule to provide films be subject to change if this application to vary is successful?

- Yes
- No

Section 6 of 18

PROVISION OF INDOOR SPORTING EVENTS

[See guidance on regulated entertainment](#)

Continued from previous page...

Will the schedule to provide indoor sporting events be subject to change if this application to vary is successful?

- Yes No

Section 7 of 18

PROVISION OF BOXING OR WRESTLING ENTERTAINMENTS

[See guidance on regulated entertainment](#)

Will the schedule to provide boxing or wrestling entertainments be subject to change if this application to vary is successful?

- Yes No

Section 8 of 18

PROVISION OF LIVE MUSIC

[See guidance on regulated entertainment](#)

Will the schedule to provide live music be subject to change if this application to vary is successful?

- Yes No

Standard Days And Timings

MONDAY

Start

End

Start

End

Provide timings in 24 hour clock (e.g., 16:00) and only give details for the days of the week when you intend the premises to be used for the activity.

TUESDAY

Start

End

Start

End

WEDNESDAY

Start

End

Start

End

THURSDAY

Start

End

Start

End

FRIDAY

Start

End

Start

End

SATURDAY

Start

End

Start

End

Continued from previous page...

SUNDAY

Start

End

Start

End

Will the performance of live music take place indoors or outdoors or both?

Where taking place in a building or other structure select as appropriate. Indoors may include a tent.

- Indoors
- Outdoors
- Both

State type of activity to be authorised, if not already stated, and give relevant further details, for example (but not exclusively) whether or not music will be amplified or unamplified.

State any seasonal variations for the performance of live music

For example (but not exclusively) where the activity will occur on additional days during the summer months.

Non-standard timings. Where the premises will be used for the performance of live music at different times from those listed, above below.

For example (but not exclusively), where you wish the activity to go on longer on a particular day e.g. Christmas Eve.

Section 9 of 18

PROVISION OF RECORDED MUSIC

[See guidance on regulated entertainment](#)

Will the schedule to provide recorded music be subject to change if this application to vary is successful?

- Yes
- No

Standard Days And Timings

MONDAY

Start

End

Start

End

Provide timings in 24 hour clock (e.g., 16:00) and only give details for the days of the week when you intend the premises to be used for the activity.

TUESDAY

Start

End

Start

End

Continued from previous page...

WEDNESDAY

| | | | |
|-------|------------------------------------|-----|------------------------------------|
| Start | <input type="text" value="23:00"/> | End | <input type="text" value="00:00"/> |
| Start | <input type="text"/> | End | <input type="text"/> |

THURSDAY

| | | | |
|-------|------------------------------------|-----|------------------------------------|
| Start | <input type="text" value="23:00"/> | End | <input type="text" value="00:00"/> |
| Start | <input type="text"/> | End | <input type="text"/> |

FRIDAY

| | | | |
|-------|------------------------------------|-----|------------------------------------|
| Start | <input type="text" value="23:00"/> | End | <input type="text" value="00:00"/> |
| Start | <input type="text"/> | End | <input type="text"/> |

SATURDAY

| | | | |
|-------|------------------------------------|-----|------------------------------------|
| Start | <input type="text" value="23:00"/> | End | <input type="text" value="00:00"/> |
| Start | <input type="text"/> | End | <input type="text"/> |

SUNDAY

| | | | |
|-------|----------------------|-----|----------------------|
| Start | <input type="text"/> | End | <input type="text"/> |
| Start | <input type="text"/> | End | <input type="text"/> |

Will the playing of recorded music take place indoors or outdoors or both?

Where taking place in a building or other structure select as appropriate. Indoors may include a tent.

- Indoors Outdoors Both

State type of activity to be authorised, if not already stated, and give relevant further details, for example (but not exclusively) whether or not music will be amplified or unamplified.

State any seasonal variations for playing recorded music.

For example (but not exclusively) where the activity will occur on additional days during the summer months.

Non-standard timings. Where the premises will be used for the playing of recorded music at different times from those listed above, list below.

For example (but not exclusively), where you wish the activity to go on longer on a particular day e.g. Christmas Eve.

Continued from previous page...

Section 10 of 18

PROVISION OF PERFORMANCES OF DANCE

[See guidance on regulated entertainment](#)

Will the schedule to provide performances of dance be subject to change if this application to vary is successful?

- Yes No

Section 11 of 18

PROVISION OF ANYTHING OF A SIMILAR DESCRIPTION TO LIVE MUSIC, RECORDED MUSIC OR PERFORMANCES OF DANCE

[See guidance on regulated entertainment](#)

Will the schedule to provide anything similar to live music, recorded music or performances of dance be subject to change if this application to vary is successful?

- Yes No

Section 12 of 18

PROVISION OF LATE NIGHT REFRESHMENT

Will the schedule to provide late night refreshment be subject to change if this application to vary is successful?

- Yes No

Section 13 of 18

SUPPLY OF ALCOHOL

Will the schedule to supply alcohol be subject to change if this application to vary is successful?

- Yes No

Standard Days And Timings

MONDAY

Start

End

Start

End

Provide timings in 24 hour clock (e.g., 16:00) and only give details for the days of the week when you intend the premises to be used for the activity.

TUESDAY

Start

End

Start

End

WEDNESDAY

Start

End

Start

End

Continued from previous page...

THURSDAY

| | | | |
|-------|------------------------------------|-----|------------------------------------|
| Start | <input type="text" value="12:00"/> | End | <input type="text" value="00:00"/> |
| Start | <input type="text"/> | End | <input type="text"/> |

FRIDAY

| | | | |
|-------|------------------------------------|-----|------------------------------------|
| Start | <input type="text" value="12:00"/> | End | <input type="text" value="00:00"/> |
| Start | <input type="text"/> | End | <input type="text"/> |

SATURDAY

| | | | |
|-------|------------------------------------|-----|------------------------------------|
| Start | <input type="text" value="12:00"/> | End | <input type="text" value="00:00"/> |
| Start | <input type="text"/> | End | <input type="text"/> |

SUNDAY

| | | | |
|-------|------------------------------------|-----|------------------------------------|
| Start | <input type="text" value="12:00"/> | End | <input type="text" value="22:30"/> |
| Start | <input type="text"/> | End | <input type="text"/> |

Will the sale of alcohol be for consumption?

- On the premises Off the premises Both

If the sale of alcohol is for consumption on the premises select on, if the sale of alcohol is for consumption away from the premises select off. If the sale of alcohol is for consumption on the premises and away from the premises select both.

State any seasonal variations.

For example (but not exclusively) where the activity will occur on additional days during the summer months.

Non-standard timings. Where the premises will be used for the supply of alcohol at different times from those listed above, list below.

For example (but not exclusively), where you wish the activity to go on longer on a particular day e.g. Christmas Eve.

Section 14 of 18

ADULT ENTERTAINMENT

Highlight any adult entertainment or services, activities, or other entertainment or matters ancillary to the use of the premises that may give rise to concern in respect of children.

Continued from previous page...

Provide information about anything intended to occur at the premises or ancillary to the use of the premises which may give rise to concern in respect of children, regardless of whether you intend children to have access to the premises, for example (but not exclusively) nudity or semi-nudity, films for restricted age groups etc gambling machines etc.

N/A

Section 15 of 18

HOURS PREMISES ARE OPEN TO THE PUBLIC

Standard Days And Timings

MONDAY

Start

End

Start

End

Provide timings in 24 hour clock (e.g., 16:00) and only give details for the days of the week when you intend the premises to be used for the activity.

TUESDAY

Start

End

Start

End

WEDNESDAY

Start

End

Start

End

THURSDAY

Start

End

Start

End

FRIDAY

Start

End

Start

End

SATURDAY

Start

End

Start

End

SUNDAY

Start

End

Start

End

State any seasonal variations.

For example (but not exclusively) where the activity will occur on additional days during the summer months.

Continued from previous page...

Non standard timings. Where you intend to use the premises to be open to the members and guests at different times from those listed above, list below.

For example (but not exclusively), where you wish the activity to go on longer on a particular day e.g. Christmas Eve.

Identify those conditions currently imposed on the licence which you believe could be removed as a consequence of the proposed variation you are seeking.

Annex 2 condition 18. Remove the condition that children are not permitted after 1900

Conditions 20, and 21 to be removed and replaced with those set out in the operating schedule which reflect the fact that the current outside area will be covered by an acoustic roof at 2200.

- I have enclosed the premises licence
- I have enclosed the relevant part of the premises licence

Reasons why I have failed to enclose the premises licence or relevant part of premises licence.

Section 16 of 18

LICENSING OBJECTIVES

Describe the steps you intend to take to promote the four licensing objectives:

a) General – all four licensing objectives (b,c,d,e)

List here steps you will take to promote all four licensing objectives together.

b) The prevention of crime and disorder

c) Public safety

Continued from previous page...

d) The prevention of public nuisance

The retractable roof over the seating area outside must be closed no later than 2200 each day.

When the roof is closed customers who wish to smoke shall do so in the area between the premises and the gates on Goldhawk Road. Customers shall not be permitted to consume alcohol in that area. Noise levels of those in the smoking area shall be monitored by a member of staff.

e) The protection of children from harm

Section 17 of 18

NOTES ON REGULATED ENTERTAINMENT

Continued from previous page...

In terms of specific **regulated entertainments** please note that:

- Plays: no licence is required for performances between 08:00 and 23.00 on any day, provided that the audience does not exceed 500.
- Films: no licence is required for 'not-for-profit' film exhibition held in community premises between 08.00 and 23.00 on any day provided that the audience does not exceed 500 and the organiser (a) gets consent to the screening from a person who is responsible for the premises; and (b) ensures that each such screening abides by age classification ratings.
- Indoor sporting events: no licence is required for performances between 08.00 and 23.00 on any day, provided that the audience does not exceed 1000.
- Boxing or Wrestling Entertainment: no licence is required for a contest, exhibition or display of Greco-Roman wrestling, or freestyle wrestling between 08.00 and 23.00 on any day, provided that the audience does not exceed 1000. Combined fighting sports – defined as a contest, exhibition or display which combines boxing or wrestling with one or more martial arts – are licensable as a boxing or wrestling entertainment rather than an indoor sporting event.
- Live music: no licence permission is required for:
 - o a performance of unamplified live music between 08.00 and 23.00 on any day, on any premises.
 - o a performance of amplified live music between 08.00 and 23.00 on any day on premises authorised to sell alcohol for consumption on those premises, provided that the audience does not exceed 500.
 - o a performance of amplified live music between 08.00 and 23.00 on any day, in a workplace that is not licensed to sell alcohol on those premises, provided that the audience does not exceed 500.
 - o a performance of amplified live music between 08.00 and 23.00 on any day, in a church hall, village hall, community hall, or other similar community premises, that is not licensed by a premises licence to sell alcohol, provided that (a) the audience does not exceed 500, and (b) the organiser gets consent for the performance from a person who is responsible for the premises.
 - o a performance of amplified live music between 08.00 and 23.00 on any day, at the non-residential premises of (i) a local authority, or (ii) a school, or (iii) a hospital, provided that (a) the audience does not exceed 500, and (b) the organiser gets consent for the performance on the relevant premises from: (i) the local authority concerned, or (ii) the school or (iii) the health care provider for the hospital.
- Recorded Music: no licence permission is required for:
 - o any playing of recorded music between 08.00 and 23.00 on any day on premises authorised to sell alcohol for consumption on those premises, provided that the audience does not exceed 500.
 - o any playing of recorded music between 08.00 and 23.00 on any day, in a church hall, village hall, community hall, or other similar community premises, that is not licensed by a premises licence to sell alcohol, provided that (a) the audience does not exceed 500, and (b) the organiser gets consent for the performance from a person who is responsible for the premises.
 - o any playing of recorded music between 08.00 and 23.00 on any day, at the non-residential premises of (i) a local authority, or (ii) a school, or (iii) a hospital, provided that (a) the audience does not exceed 500, and (b) the organiser gets consent for the performance on the relevant premises from: (i) the local authority concerned, or (ii) the school proprietor or (iii) the health care provider for the hospital.

Continued from previous page...

- Dance: no licence is required for performances between 08.00 and 23.00 on any day, provided that the audience does not exceed 500. However, a performance which amounts to adult entertainment remains licensable.
- Cross activity exemptions: no licence is required between 08.00 and 23.00 on any day, with no limit on audience size for:
 - o any entertainment taking place on the premises of the local authority where the entertainment is provided by or on behalf of the local authority;
 - o any entertainment taking place on the hospital premises of the health care provider where the entertainment is provided by or on behalf of the health care provider;
 - o any entertainment taking place on the premises of the school where the entertainment is provided by or on behalf of the school proprietor; and
 - o any entertainment (excluding films and a boxing or wrestling entertainment) taking place at a travelling circus, provided that (a) it takes place within a moveable structure that accommodates the audience, and (b) that the travelling circus has not been located on the same site for more than 28 consecutive days.

Section 18 of 18

PAYMENT DETAILS

This fee must be paid to the authority. If you complete the application online, you must pay it by debit or credit card.

Variation Fees are determined by the non-domestic rateable value of the premises.

To find out a premises non domestic rateable value go to the Valuation Office Agency site at http://www.voa.gov.uk/business_rates/index.htm

Band A - No RV to £4300 £100.00

Band B - £4301 to £33000 £190.00

Band C - £33001 to £8700 £315.00

Band D - £87001 to £12500 £450.00*

Band E - £125001 and over £635.00*

*If the premises rateable value is in Bands D or E and the premises is primarily used for the consumption of alcohol on the premises then your are required to pay a higher fee

Band D - £87001 to £12500 £900.00

Band E - £125001 and over £1,905.00

If you own a large premise you are subject to additional fees based upon the number in attendance at any one time

Capacity 5000-9999 £1,000.00

Capacity 10000 -14999 £2,000.00

Capacity 15000-19999 £4,000.00

Capacity 20000-29999 £8,000.00

Capacity 30000-39000 £16,000.00

Capacity 40000-49999 £24,000.00

Capacity 50000-59999 £32,000.00

Capacity 60000-69999 £40,000.00

Capacity 70000-79999 £48,000.00

Capacity 80000-89999 £56,000.00

Capacity 90000 and over £64,000.00

* Fee amount (£)

190.00

DECLARATION

* It is an offence, under section 158 of the licensing act 2003, to make a false statement in or in connection with this application. Those who make a false statement may be liable on summary conviction to a fine of any amount.

Ticking this box indicates you have read and understood the above declaration

This section should be completed by the applicant, unless you answered "Yes" to the question "Are you an agent acting on behalf of the applicant?"

Continued from previous page...

| | |
|-------------|---|
| * Full name | <input type="text" value="John Gaunt & Partners"/> |
| * Capacity | <input type="text" value="Solicitors for the Applicant"/> |
| * Date | <input type="text" value="07"/> / <input type="text" value="04"/> / <input type="text" value="2022"/> dd mm yyyy |

Once you're finished you need to do the following:

1. Save this form to your computer by clicking file/save as...
 2. Go back to <https://www.gov.uk/apply-for-a-licence/premises-licence/hammersmith-and-fulham/change-1> to upload this file and continue with your application.
- Don't forget to make sure you have all your supporting documentation to hand.

IT IS AN OFFENCE, UNDER SECTION 158 OF THE LICENSING ACT 2003, TO MAKE A FALSE STATEMENT IN OR IN CONNECTION WITH THIS APPLICATION. THOSE WHO MAKE A FALSE STATEMENT MAY BE LIABLE ON SUMMARY CONVICTION TO A FINE OF ANY AMOUNT.

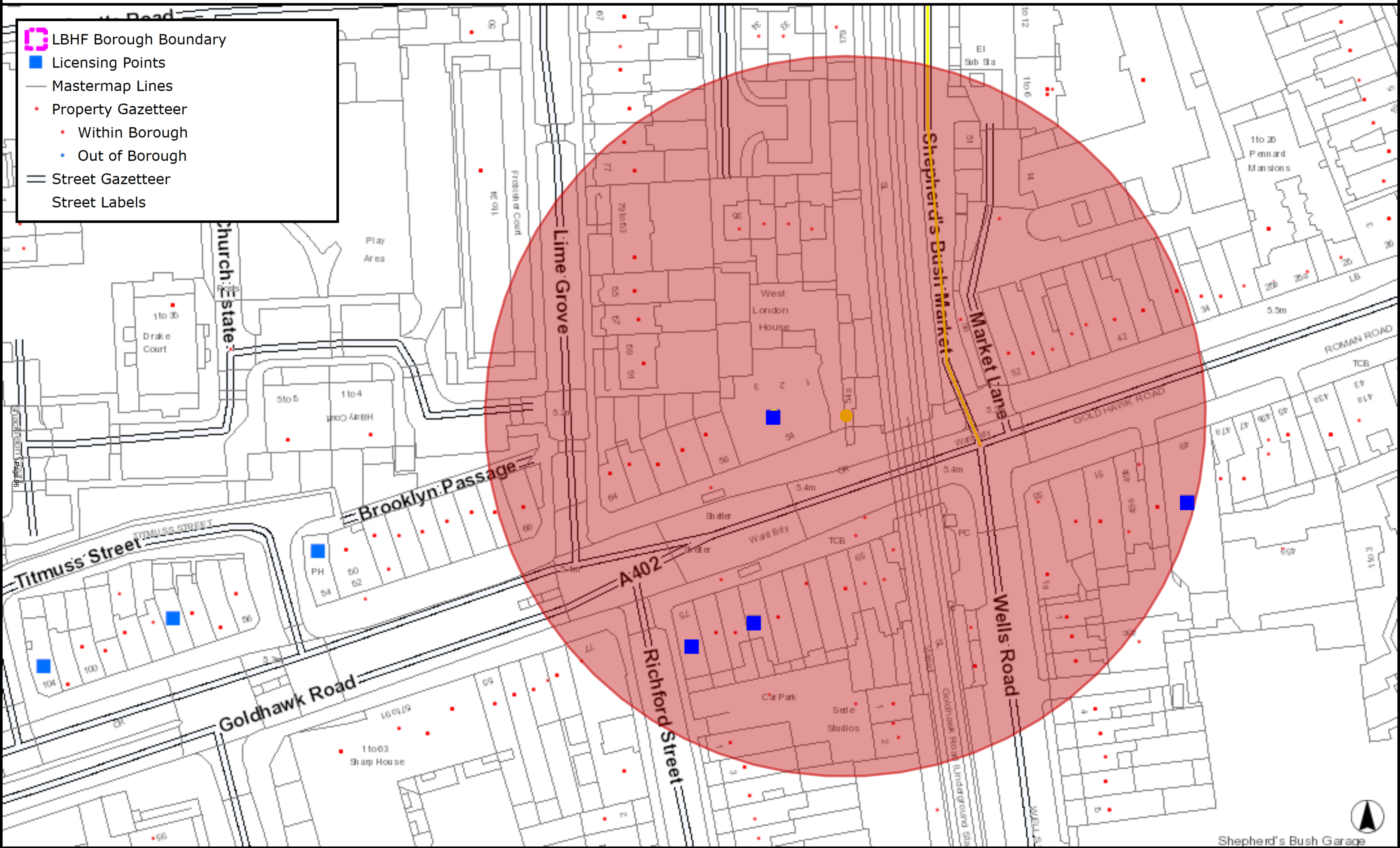
OFFICE USE ONLY

| | |
|----------------------------|--|
| Applicant reference number | <input type="text" value="JW/Hawks Nest"/> |
| Fee paid | <input type="text"/> |
| Payment provider reference | <input type="text"/> |
| ELMS Payment Reference | <input type="text"/> |
| Payment status | <input type="text"/> |
| Payment authorisation code | <input type="text"/> |
| Payment authorisation date | <input type="text"/> |
| Date and time submitted | <input type="text"/> |
| Approval deadline | <input type="text"/> |
| Error message | <input type="text"/> |
| Is Digitally signed | <input type="checkbox"/> |

[1](#) [2](#) [3](#) [4](#) [5](#) [6](#) [7](#) [8](#) [9](#) [10](#) [11](#) [12](#) [13](#) [14](#) [15](#) [16](#) [17](#) [18](#) [Next >](#)

London Borough of Hammersmith & Fulham

- LBHF Borough Boundary
- Licensing Points
- Mastermap Lines
- Property Gazetteer
 - Within Borough
 - Out of Borough
- Street Gazetteer
- Street Labels



| Reference | Name | Address | Activities | Monday to Sunday | Monday | Tuesday | Wednesday | Thursday | Friday | Saturday | Sunday |
|-----------------|----------------------------|--|--|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|
| 2017/01066/LAPR | Swallow Coffee Shop | 75 Goldhawk Road London W12 8EG | Sale of Alcohol - On the Premises Only | 12:00 - 19:30 | | | | | | | |
| 2021/00823/LAPR | Jazz | 69 Goldhawk Road London W12 8EG | Sale of Alcohol - Off the Premises Only | | 11:00 - 23:00 | 11:00 - 23:00 | 11:00 - 23:00 | 11:00 - 23:00 | 11:00 - 23:00 | 11:00 - 23:00 | 11:00 - 22:30 |
| 2021/01216/LAPR | Sainsbury's | Brooklyn House 54 Goldhawk Road London W12 8HA | Sale of Alcohol - Off the Premises Only | 09:00 - 23:00 | | | | | | | |
| 2016/00243/LAPR | Tesco Express | 49 Goldhawk Road London W12 8QP | Sale of Alcohol - Off the Premises Only | | 08:00 - 23:00 | 08:00 - 23:00 | 08:00 - 23:00 | 08:00 - 23:00 | 08:00 - 23:00 | 08:00 - 23:00 | 10:00 - 22:30 |

From: BT Chris Noonan

Sent: 20 April 2022 09:56

To: Dimitriou Maria: H&F

Cc:

Subject: Objection to Application from Hawks Nest Goldhawk Road for variation of Licence terms and conditions = 2022/00568/LAPR

20 April 2022

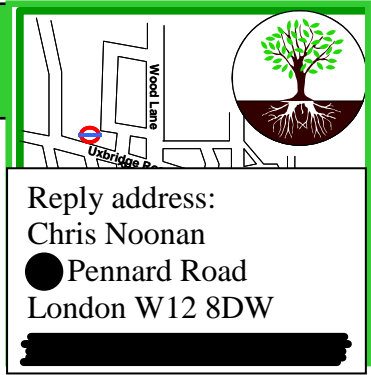
Dear **Maria**

We, as local Shepherds Bush Residents, are lodging here an objection (attached) to the current Application 2022/00568/LAPR submitted by Hawks Nest licensed premises on Goldhawk Road, located at bottom of Shepherds Bush Market.

Yours on behalf of Greenside Residents Action Group

Chris Noonan
Pennard Road
London W12 8DW

PLEASE SEE ATTACHMENT



20 April 2022

**Ms Maria Dimitriou
Case Officer – Licensing Dept
Town Hall
London Borough of Hammersmith & Fulham
King Street
London W6 9JU**

Reply address:
Chris Noonan
● Pennard Road
London W12 8DW

Dear Ms Dimitriou

**Re: 2022/00568/LAPR: The Hawks Nest: 190 Railway Arches Shepherd's Bush Market
London W12 8DF**

We object to the granting of a license that would allow the Hawks Nest premises to serve and trade alcohol both on and off their premises for a further 2 hours later into the night on Mondays through Saturdays and a further 30 minutes on Sundays.

We believe that current licensing guidelines laid out by Government and LBHF seek to balance the needs of local businesses to maximise their revenues with the needs of nearby residents' entitlement to quiet, safe and peaceful streets during the hours of darkness.

A further 2 hours of trading 6 nights a week and 30 minutes on Sunday would unreasonably prioritise the revenue needs of a single commercial premises over the needs for peace and quiet and a good night's sleep of hundreds of surrounding residents.

Our position as local residents is one of opposition to any addition to the local alcohol and night economy activities in the Shepherds Bush Town Centre, in which respect we already have well documented negative impacts on residential amenity and life styles.

Accordingly we draw attention to our case for objection as follows.

Premises location

- The premises are located in close proximity to neighbouring residential properties to the West of Shepherds Bush Common, close to the very busy gyratory system around the Green with its major roads leading in all directions, which are quite heavily used by public & private transport during the night hours.
- It is physically located to the west of the Shepherds Bush Common adjacent to Shepherds Bush Market and other nearby licensed premises located within the Town Centre and major public venues such as The Empire.
- It is located right by key roads which are part of the London Bus Priority Network, served at all hours by buses. And it is close proximity to (3) busy underground line (TfL) stations
- It is within the Town Centre, and surrounded by residential streets, within an area that is the densest populated part of the Borough – Shepherds Bush. .
- Around and in the proximity of the Shepherds Bush Common is a plethora of Bars and Night Cafes many of which already have late evening and night operating hours.

- A grant of variations to the current licence for the hours being requested in the Application for these premises will exacerbate noise & public nuisance disturbances in a Town Centre area now recognised as suffering a saturation of night economy premises of various varieties.

Noise, Nuisance and Perceived Safety Late at Night

- Premises have control over their clients only whilst on their premises and only if that premises employs security staff. Door Staff have neither the legal powers nor the training to control the behaviour of clients whilst on surrounding residential streets.
- There is neither a Police nor Community Officers presence during the hours of daylight let alone at night Anti-social behaviour therefore goes unchecked and uncontrolled with local residents having to suffer the fallout of disturbed sleep and perceived threats to personal safety during the hours of darkness. Crowds gathering at and near the Hawks Nest, or exiting after even later closing hours, will have an incremental intimidatory effect on residents trying to transit local streets.
- The adjacent streets are primarily residential. Most of the retail premises on Goldhawk Road have residential flats located above the. Granting an extended hours' licence to this Hawks Nest premises at this location will present a further problem to residential neighbours.
- Following the easing of Covid19 lockdowns and the rapid revival of the local night economy, Pennard Road residents (and presumably those in other streets in close proximity to Hawks Nest and Goldhawk licensed premises) are definitely experience much greater noise disturbance and street nuisance after 10.30pm.
- In view of the above the Council should not further exacerbate the problems for residents by extending the hours that commercial premises can draw in out-of-area visitors in order to serve them alcohol.

Traffic flow & Parking

- The Goldhawk Road is a major through route for traffic, Night buses and emergency vehicles. The pavements around the Hawks Nest provide off road parking in recognition of threat to pedestrian safety of cars previously forced to park on the Goldhawk Road highway and bus lanes.
- In view of the pavement parking, vehicles dropping off and picking up near the premises must park on the Goldhawk Road itself thereby defeating the Council's efforts to ensure pedestrian safety and ease of traffic flow with their Goldhawk Road pavement parking plan.
- Patrons using personal vehicles during the evening and post-midnight hours must mainly park on the neighbouring residential streets, disturbing residents in adjacent streets or the local high rise flats (engines starting, car doors slamming, and often radios blaring).

Late Night Transport

- There are very limited tube services after midnight, thus out of area visitors will be dependent on their own car, mini-cabs or late night buses.
- Even a small number of patrons congregating for night buses, usually running at 30 minutes intervals, can (with their talking, laughing and inebriated behaviour) cause an anti-social/threatening disturbance to sleeping residents and local pedestrians.

Apart from the above comments relating to this Objection, comments can be made under other relevant headings.

The prevention of crime and disorder

Late night gathering spots (such as Hawks Nest will become if extensions to license and trading hours is sanctioned) are a magnet for persons given to anti-social behaviour in any of its common manifestations (noise, nuisance, littering, etc.). Such gatherings provide an opportunity for other criminal activities, including drug dealing and petty theft, e.g. from vehicles or pedestrians.

Public safety

Patrons to licensed alcohol and entertainment venues often tend to be of younger boisterous age groups. The Hawks Nest adjoins the Market, exposing its traders and customers (many of whom are women and/ children) to unintended negative environmental impacts of its activities during Market trading hours. And after Market hours, the negative environmental impacts, including possibly noise, nuisance and adverse impacts on public safety, transfer into the immediate neighbourhood.

The protection of children from harm

- The Hawks Nest seeks to remove current licence restrictions requiring children to be accompanied by an adult during daytime hours, and not permitted at all after 7pm. We believe restrictions should be retained.
- There is a risk that younger persons, possibly including minors, will be part of groups of patrons attracted to the premises, attracted by some of its proposed entertainment formats, and be influenced by life style factors exhibited by older patrons. Shepherds Bush as an area is plagued by alcohol and drug problems,

Saturation issues

- LBHF designated the **Shepherds Bush area, and particularly the Town Centre**, as a **Saturation Zone** within its **Cumulative Impact Policy** for areas with excessive numbers of alcohol related premises, and which suffered adversely from negative impacts on residential amenity and life styles. That Cumulative Impact Policy is still in place, and should be enforced in all respects and renewed as LBHF Council Policy when due for review and renewal. As such the onus should be on the Applicants, to prove that they will have no further or incremental negative impact on the local environment and alcohol related economy.

SUMMARY

We urge LBHF Council to consider our objections and decline the grant of amended Licences as being applied for with the Application 2022/00568/LAPR: The Hawks Nest.

We would consider that it is important the LBHF Council takes a stand in its position that reflects its previous decision to apply a Cumulative Impact Policy status to Shepherds Bush, as an area experiencing a saturation level of night economy related business. And additionally any extension of hours for night economy licences granted at this Town Centre location will further impact negatively on local issues of crime & disorder, public safety, public nuisance, and possibly the protection of children.

Yours on behalf of Greenside Residents Action Group



| | | | | |
|---|---|--|--|---|
| Lorna Elliott ● Pennard Road London W12 8DS | Toi Jones ● Pennard Road London W12 8DW | Roger Manku ● Pennard Road/ London W12 8DW | Chris Noonan ● Pennard Road London W12 8DW | Lynnette Southall ● Pennard Road London W12 8DW |
|---|---|--|--|---|

Comments summary

Dear Sir/Madam,

Licensing Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 26/04/2022 10:58 AM from Hugo Le Breton.

Application Summary

Address: 190 Railway Arches Shepherd's Bush Market London W12 8DF

Proposal: Licensing Act - Premises Licence

Case Officer: Maria Dimitriou

[Click for further information](#)

Customer Details

Name: Hugo Le Breton

Email:

Address: Lime Grove Shepherds Bush London

Comments Details

Commenter Type: Neighbour

Stance: Customer objects to the Licensing Application

Reasons for comment:

Comments: 26/04/2022 10:58 AM I object to the Hawk's Nest extending their current trading hours.

Throughout the bottom half of Lime Grove, we suffer from a significant amount of noise pollution - from the bar's music and its revellers alike. The noise is so loud, it is almost comparable to being at the bar itself! Lime Grove is a residential street, with many young families - it is quite unacceptable to have such a disruptive neighbour.

By contrast, we don't hear any noise from the Market Traders of Shepherd's Bush during the daytime - nor from local takeaways like BurgerRoom etc.

Please don't extend their trading hours. They can keep their current trading hours - but must invest in vastly improved sound insulation.

Put another way, if I were to cause so much noise every weekend - neighbouring flats would be calling the police!

Kind regards

From: Susan Horth
Sent: 26 April 2022 00:03
To: Plan Comments: H&F
Subject: Objection to licensing application 2022/00568/LAPR

Hello,

I've tried four times this evening to lodge an objection to this licensing application using your online system, which I've already logged into. Each time, my comment has been rejected 'due to an error in the system'. I wonder how many other neighbours and stakeholders have unsuccessfully tried to object but the system prevented them?

Here is my objection in full. I'd be grateful if you could please take this into serious consideration.

Application Reference: 2022/00568/LAPR

Address: 190 Railway Arches Shepherd's Bush Market London W12 8DF

Licence Category: Licensing Act - Premises Licence

Application Type: New

Miss Susan Horth, Lime Grove, London W12 8EA, contact

I live in close proximity to this premises and pass it every day, often during night-time hours when returning home via Goldhawk Road tube. **I wish to object in the strongest terms to this licensing application, on a number of grounds.**

First, there has been a marked increase in intolerable anti-social behaviour over the last two years on this stretch of Goldhawk Road, between the market and Lime Grove, and in particular along the whole length of Lime Grove, to the extent that the local Shepherds Bush Green SNT police team have designated Lime Grove a new area of concern, even worse than the Green itself. There are numerous aggressive and often drink- and/or drug-addicted vulnerable adults who loiter, beg, consume drugs and alcohol in this area, demanding money and other help directly from residents and passers-by, right outside this venue, triggering fights and recently an armed police action before dawn on a Monday morning on Lime Grove. While these can't be connected directly to the licensing regime at the Hawks' Nest, any increase in the amount of alcohol consumed, and the hours in which it's consumed, together with the volume of people attracted to this site, will have a multiplier effect on this behaviour and significant negative impact on drink- and drug-related ASB. As a single woman living for 12 years in this area, I have never felt more at risk from begging, intimidation, aggressive and drunk behaviour. I can't bear the thought of it becoming worse, later into the night, every night of the week. I already have to run a gauntlet from the tube station to my front door. This safety and ASB situation is already unacceptable and must change, and this proposed licensing extension will be a terrible, backwards step for the safety, security and wellbeing of me and other women living here.

Second, this application proposes extending drinking hours until midnight for *six days a week*, monday to saturday, in an essentially outdoor venue overlooked by residential flats. This is a residential area with two primary schools just a few hundred meters from the premises! It is not possible to go to sleep at a reasonable hour, let alone try to ensure children sleep well, if people downstairs and in the open air, are drinking until midnight every weeknight, and not being dispersed until after half-past midnight. What planet does this landlord live on? Has he tried living next to his own bar, raising his children there, holding down a job which requires a good night's sleep? I am beyond frustrated at the selfish, anti-social greed of landlords and I beg the planning

department to please stop allowing the so-called 'night-time economy' to take over our neighbourhood. Our rights and needs, to live and sleep in peace after 10pm on weeknights, must be safe-guarded. The suggestion of an acoustic roof is a joke. Even if it does somehow dampen the noise from amplified live or recorded music between 10pm and 1am, there will also be a spillover of noise, aggressive behaviour, drunken singing, fights etc, onto the street in Goldhawk Road from everyone popping out for a cigarette, or dispersing at closing time, and then those large numbers of drunk people will spill over into our street, Lime Grove, long after the bouncers kick people out. It already happens; this will make that noise disturbance much worse.

Third, the landlord wants to abandon the restriction on children inside the venue after 7pm and allow unaccompanied minors into the premises until closing time, near 1am. This is complete madness. In an area already facing challenging threats to children's safety from drink, drugs, gang violence, ASB, male sexual violence and exploitation - what could possibly justify this breach of standard regulations? Kids should be protected from licensed premises, not encouraged into them where they can be pressured or preyed upon, or encouraged into aggressive or anti-social behaviour. Again I have to question the motive of a landlord proposing this, in Shepherds Bush, showing complete disregard for the specific needs and vulnerabilities of this area and not acting as a good neighbour.

These are my three principal objections; I'm sure there are many others. I beg you to refuse this application.

Regards,
Susan Horth

Comments summary

Dear Sir/Madam,

Licensing Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 01/05/2022 6:28 PM from Mr Subhash Mishra.

Application Summary

| | |
|---------------|--|
| Address: | 190 Railway Arches Shepherd's Bush Market London W12 8DF |
| Proposal: | Licensing Act - Premises Licence |
| Case Officer: | Maria Dimitriou |

[Click for further information](#)

Customer Details

| | |
|----------|----------------------------|
| Name: | Mr Subhash Mishra |
| Email: | |
| Address: | Lime Grove Shepherd's Bush |

Comments Details

| | |
|-----------------|---|
| Commenter Type: | Neighbour |
| Stance: | Customer objects to the Licensing Application |

Reasons for comment:

Comments: 01/05/2022 6:28 PM I'm writing this as of Sunday evening (1st May). Although I have double glazing & have shut my windows fully - I can fully hear the lyrics of the songs the Hawks Nest is playing! It is so loud.

Can I suggest that their opening hours etc are not extended?
They need to reduce the volume they play music at significantly - and also invest in some sort of sound proofing.

This is a residential street - young children, old people & pets all have to put up with this every weekend.

Kind regards

Comments summary

Dear Sir/Madam,

Licensing Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 05/05/2022 10:25 AM from E Shepherd.

Application Summary

Address: 190 Railway Arches Shepherd's Bush Market London W12 8DF

Proposal: Licensing Act - Premises Licence

Case Officer: Maria Dimitriou

[Click for further information](#)

Customer Details

Name: E Shepherd

Email:

Address: Lime Grove London

Comments Details

Commenter Type: Neighbour

Stance: Customer objects to the Licensing Application

Reasons for comment:

Comments: 05/05/2022 10:25 AM As a resident of Lime Grove I'd be concerned about noise nuisance later at night.

Lime Grove already has a significant number of noisy late night pedestrians.

An extension of late night opening hours at Hawk's Nest would probably increase the likelihood of noise from both these sources.

Kind regards

Temporary Event Notices

1. 2021/00402/LATEMP - Temporary Event Notice

The applicant submitted a TEN to temporarily extend the sale of alcohol in the outside area by 2 hours for a birthday party.

Licensable activities sought:

The sale of alcohol on the premises only for no more than 499 people

Date and times sought:

Saturday 22nd May between the hours of 22:00 - 00:00

2. 2021/00746/LATEML - Late Temporary Event Notice

The applicant submitted a TEN to temporarily extend the sale of alcohol in the outside area by 2 hours on Monday 19th July 2021.

Licensable Activities Sought:

The sale of alcohol on the premises only for no more than 225 people.

Date and times sought:

Monday 19th July 2021 between the hours of 22:00 - 00:00

3. 2021/01387/LATEML - Late Temporary Event Notice

The applicant submitted a TEN to temporarily extend the permitted hours for the sale of alcohol, late night refreshment and regulated entertainment in the premises in the run up to the festive season.

Licensable Activities Sought:

The sale of alcohol both on and off the premises, the provision of late night refreshment and the provision of regulated entertainment for no more than 225 people.

Dates and times sought:

Thursday 18th November 2021 to Saturday 20th November 2021 between 22:00 to 00:00 each day.

4. 2021/01389/LATEMP - Temporary Event Notice

The applicant submitted a TEN to temporarily extend the permitted hours for the sale of alcohol in the run up to the festive season.

Licensable Activities Sought:

The sale of alcohol both on and off the premises and the provision of late night refreshment for no more than 225 people.

Dates and times sought:

Thursday 25th November 2021 to Saturday 27th November 2021 between 22:00 to 00:00 each day.

5. 2021/01391/LATEMP - Temporary Event Notice

The applicant submitted a TEN to temporarily extend the permitted hours for the sale of alcohol and late night refreshment in the run up to the festive season.

Licensable Activities Sought:

The sale of alcohol both on and off the premises and the provision of late night refreshment for no more than 225 people.

Dates and times sought:

Thursday 2nd December 2021 to Saturday 4th December 2021 between 22:00 to 00:00 each day.

6. 2021/01393/LATEMP - Temporary Event Notice

The applicant submitted a TEN to temporarily extend the permitted hours for the sale of alcohol and late night refreshment in the run up to the festive season.

Licensable Activities Sought:

The sale of alcohol both on and off the premises and the provision of late night refreshment for no more than 225 people.

Dates and times sought:

Thursday 9th December 2021 to Saturday 11th December 2021 between 22:00 to 00:00 each day.

7. 2021/01396/LATEMP - Temporary Event Notice

The applicant submitted a TEN to temporarily extend the permitted hours for the sale of alcohol, regulated entertainment and late night refreshment for new year's festivities.

Licensable Activities Sought:

The sale of alcohol both on and off the premises, the provision of regulated entertainment and the provision of late night refreshment for no more than 225 people.

Dates and Hours sought:

Friday 31st December to Saturday 1st January between 22:00 to 03:00.

8. 2021/01400/LATEMP - Temporary Event Notice

The applicant submitted a TEN to temporarily extend the permitted hours for the sale of alcohol and late night refreshment in the run up to the festive season.

Licensable Activities Sought:

The sale of alcohol both on and off the premises and the provision of late night refreshment for no more than 225 people.

Date and times sought:

Thursday 16th December 2021 to Saturday 18th December 2021 between 22:00 to 00:00 each day.

From: Jon Wallsgrove
Sent: 12 May 2022 14:45
To: Dimitriou Maria: H&F
Subject: RE: Licensing Act 2003 - Premises Licence Number: 2022/00568/LAPR

Dear Maria

My client has decided to invite residents along to a meeting so that they can fully set out what they are intending to do. Once I receive the notice of hearing I will submit the relevant documents regarding the roof for the Committee to peruse before they hearing.

I attach the letter which is to be circulated and would be more than happy for you to send it on to those who have made representations (albeit they may well therefore receive it twice it is better to be safe than sorry).

I look forward to hearing from you with the date of hearing.

Kind Regards,
Jon

Jon Wallsgrove
Partner

INVITATION LETTER

10.05.2022

Dear Resident,

In November 2019 Will & Frazer were granted a lease by the landlord of Shepherd's Bush Market to open a pizza restaurant in a vacant alley way opposite Gold Hawk Road Station.

We set out to create The Hawks Nest, the friendly neighbourhood venue that we felt the area was lacking and we hope that lots of you have taken the time to pop in and visit us for a drink or a pizza.

We have now become a busy little venue and whilst we hope that we have made a positive impact on the local area overall, we are also aware that the noise coming from the venue may have had an adverse effect on some residents.

For this reason, we have been working with our landlord on a permanent solution to noise breakout from the venue and the landlord of the market are supporting us in installing a fully soundproofed roof over the space. We intend to carry out the works in January – March 2023.

This is a double glazed glass roof which will have retractable sections allowing for al-fresco dining in the afternoons but when we get busy in the evenings we can then close the roof which will significantly reduce noise breakout.

We are also seeking later licensed house to trade until mid-night in line with all of the other licensed premises in the area.

For those who are interested we are hosting a resident's meeting on **Wednesday the 24th of May at 6.30pm at The Hawks Nest.**

There will be some complimentary drinks and nibbles for those who attend and we hope to share our plans with you. We will also welcome any feedback from you in regards to the venue and what you would like from your local neighbourhood venue.

We hope that lots of you can attend and we look forward to meeting those of you who we haven't met already.

Kind regards,

Frazer, Will, Lottie & The Hawks Nest Team.

RESPONSE FROM RESIDENT

From: Susan Horth

Sent: 16 May 2022 13:21

To: Dimitriou Maria: H&F

Subject: Re: Invitation to residents meeting - Reference: 2022/00568/LAPR - Premises: The Hawks Nest 190 Railway Arches Shepherd's Bush Market London W12 8DF

Dear Maria,

Thank you for this.

I and other residents have already had this letter pushed through our doors. We are very sceptical about the licensee's genuine interest in our concerns, given the tone of the letter sounding quite condescending and trivial. They're openly proposing to extend licensing hours **long before** any roof would be built, completed or evaluated. If the landlord and the council were actually prioritising the needs of residents, then the roof (or other mitigation measures) would be completed **first**, followed by an evaluation into whether existing nuisance has been mitigated by that roof, and only then should any extension of licensing hours be discussed. Instead, a roof is being promised far too late to prevent major nuisance and disruption increasing.

Also, this letter invites us to raise our concerns **while on the licensee's premises**, literally in the place which causes us disruption. The premises themselves are **not neutral grounds** for discussion of these issues, and as our representatives, and the licensing authority, I would have hoped you and H&F council might have hosted a discussion on neutral ground where residents feel more free to speak openly. **Will you or other representatives of H&F Licensing, Environment or Planning be present at this meeting to listen to our objections and the discussion?** If not, then this will be a purely cosmetic exercise where the Hawk's Nest get to mark their own homework.

Meanwhile as a street, we are still waiting for someone from the council to visit, discuss and pay attention to our ongoing concerns over the criminal ASB occurring on a regular basis on our doorsteps.

I am disappointed to feel that you are already backing the licensee here by forwarding this letter, and any objections we raise as local residents suffering major nuisance and ASB are futile and won't be taken seriously.

Regards,
Susan Horth